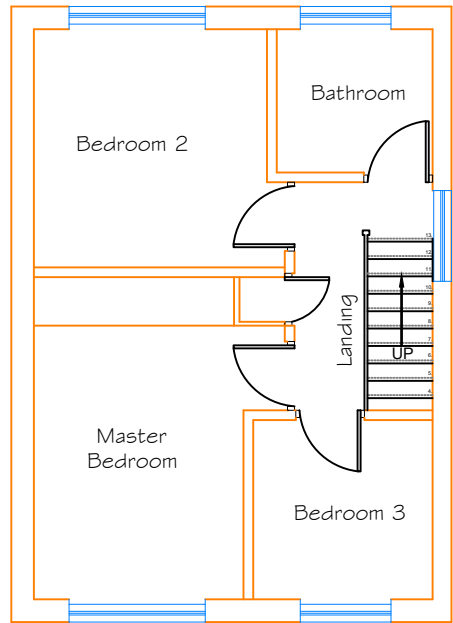
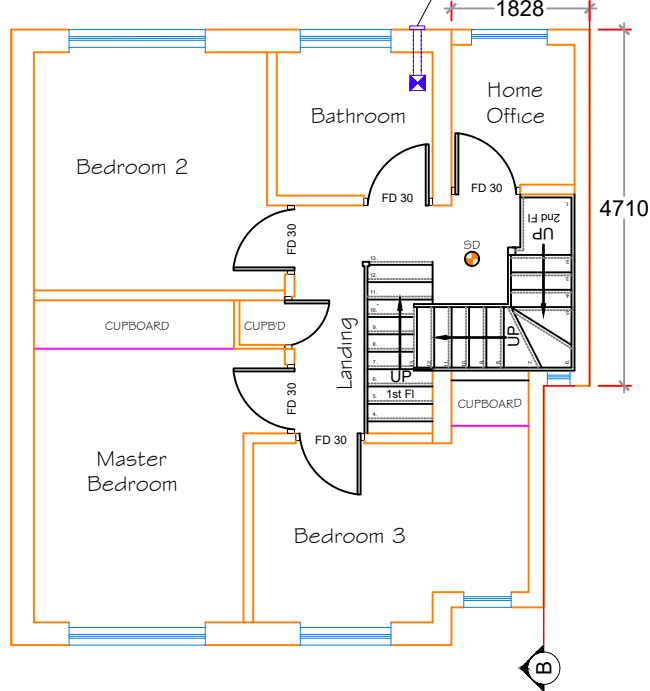


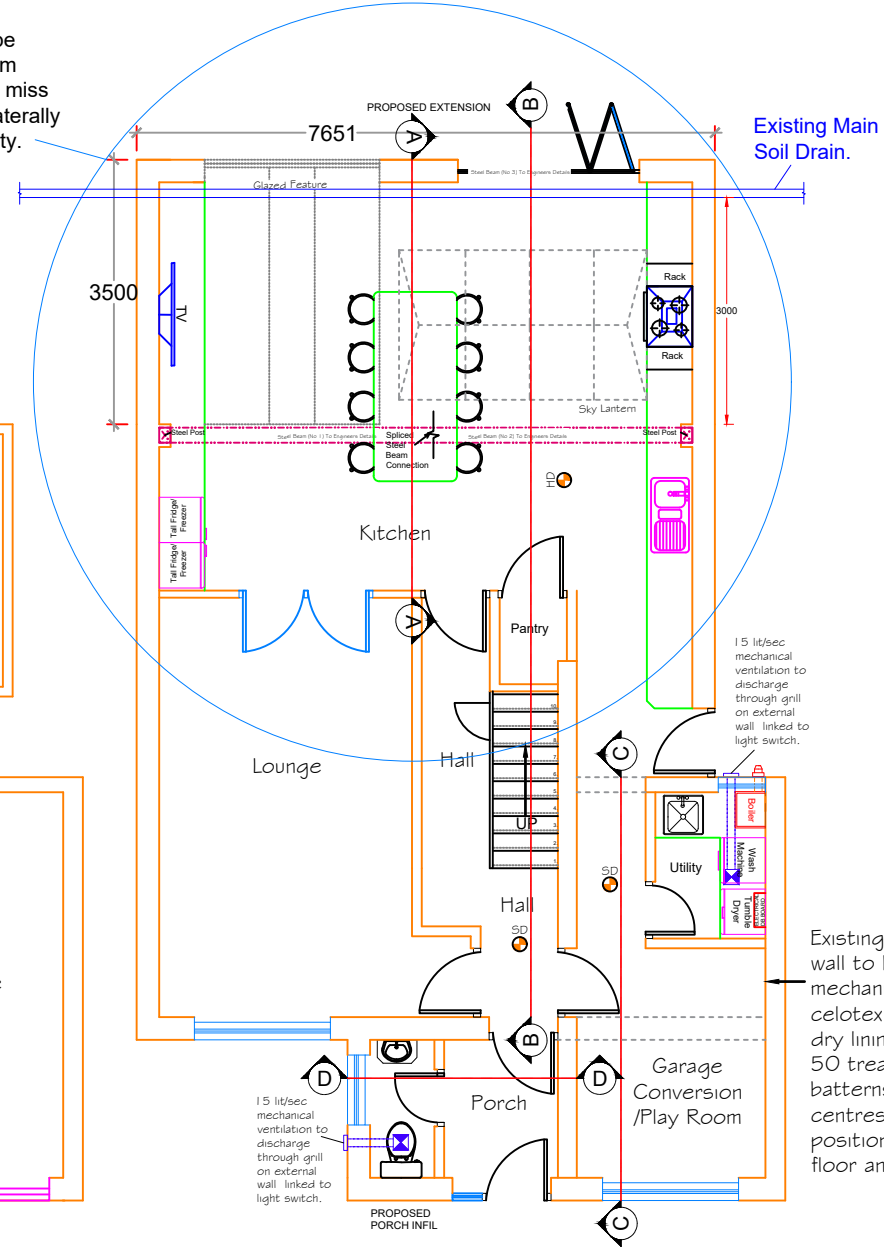
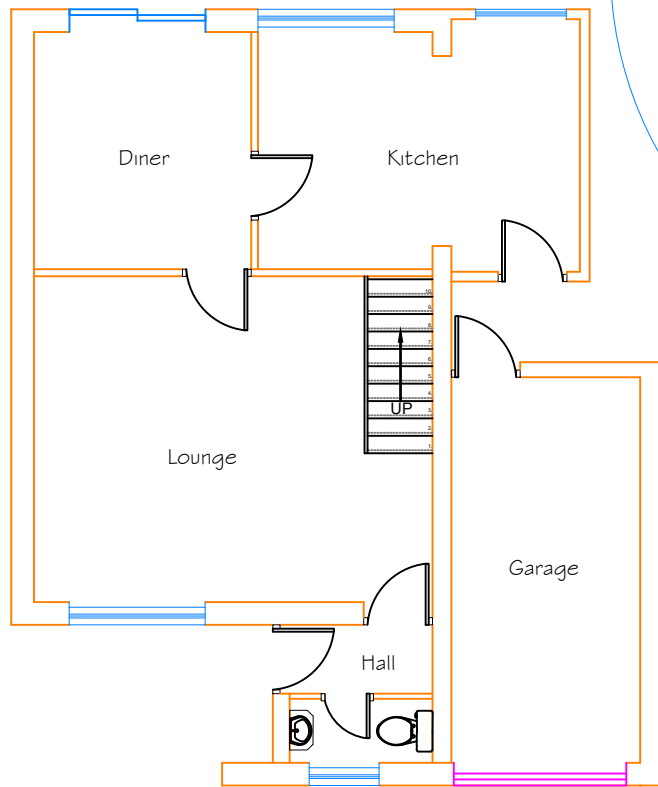
Existing First Floor Plan



Proposed First Floor Plan

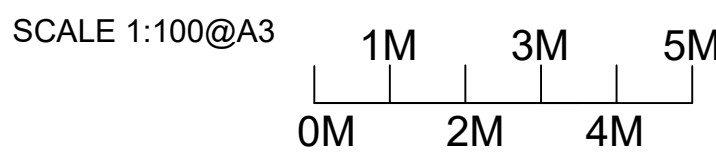


Existing Ground Floor Plan



Proposed Ground Floor Plan

EXISTING & PROPOSED PLANS



REVISIONS			Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
REV	DATE							
A			Existing & Proposed Plans	Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions	Chelmsford Essex	Scale	1:100@A3	SX ARCHITECTURE enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.
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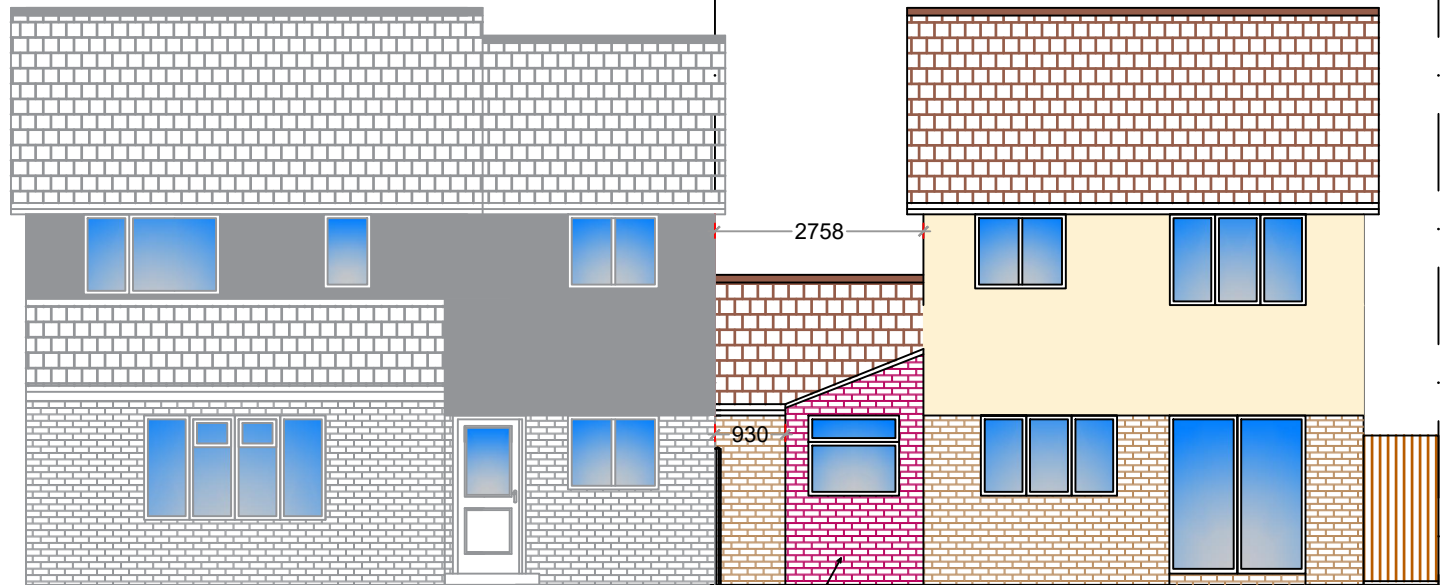
Existing - South East Facing Front Elevation

No 26 Golden Acres



Existing - South West Facing Side Elevation

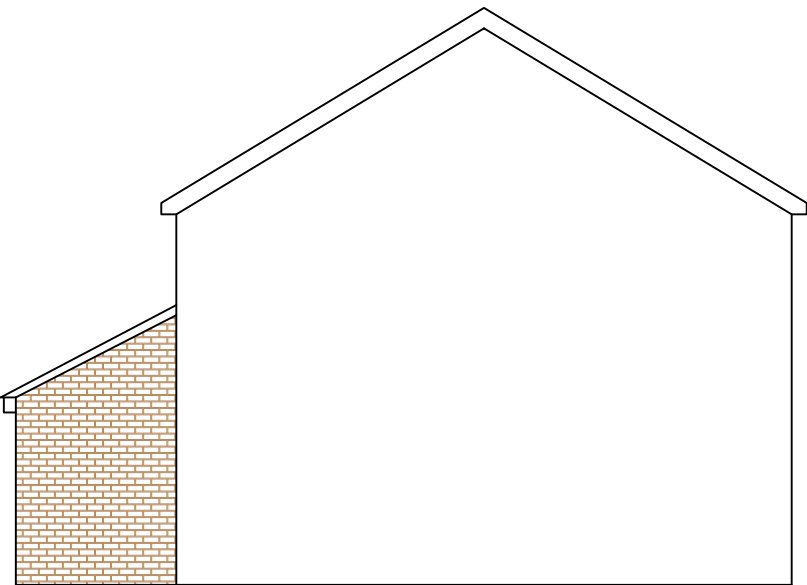
Electrical Supply Cupboard Relocated to Front Elevation.



No 26 Golden Acres

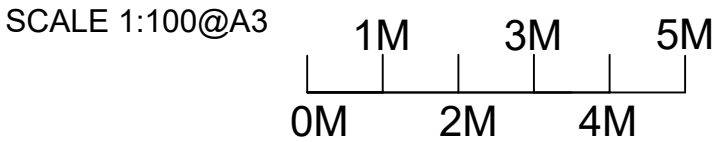
Existing - North West Facing Rear Elevation

Existing Ground Floor Side Extension To Be Removed.



Existing - North East Facing Side Elevation

EXISTING ELEVATIONS



REV	DATE	REVISIONS
A		
B		
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G		

Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
Existing Elevations	Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions	Chelmsford Essex	Scale	1:100@A3	
			Drawn By	TDH	
			Checked By B/I	TDH	
			Checked By Client	~	
			Date		
			Drawing Number	ExistElev01	

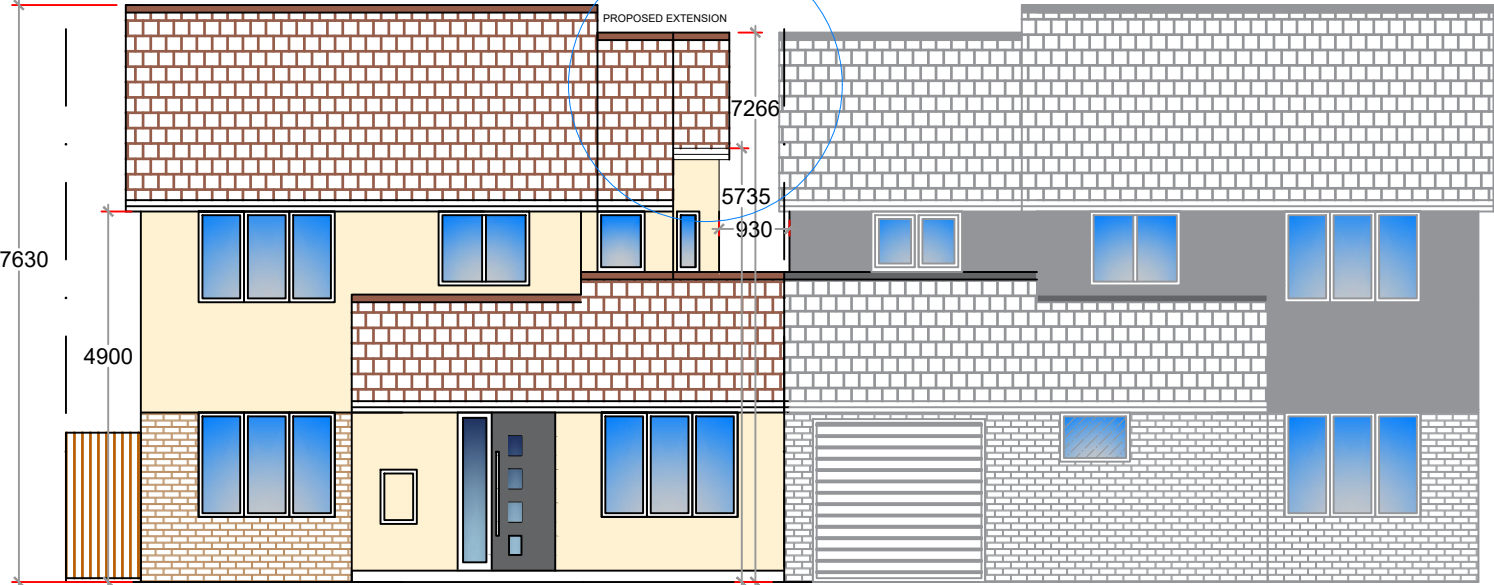
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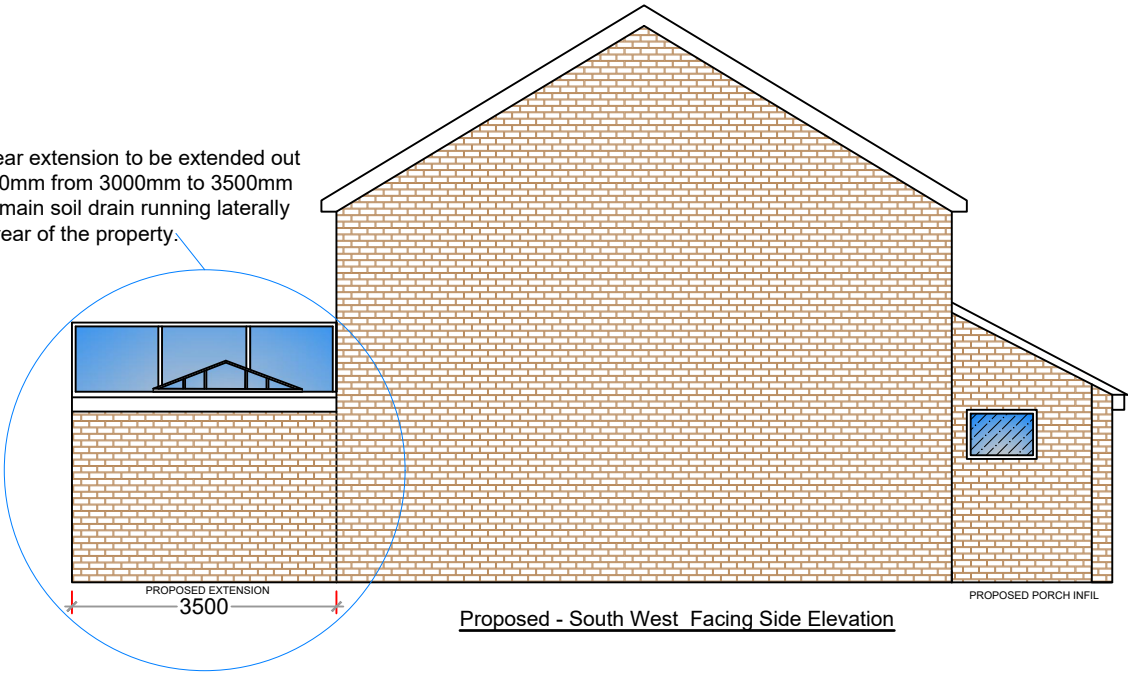
Raising of the eave height to part of the proposed side extension to increase the head height of the staircase from first floor level to second floor into the proposed loft space.



Proposed - South East Facing Front Elevation

No 26 Golden Acres

Proposed rear extension to be extended out a further 500mm from 3000mm to 3500mm to miss the main soil drain running laterally across the rear of the property.



Proposed - South West Facing Side Elevation

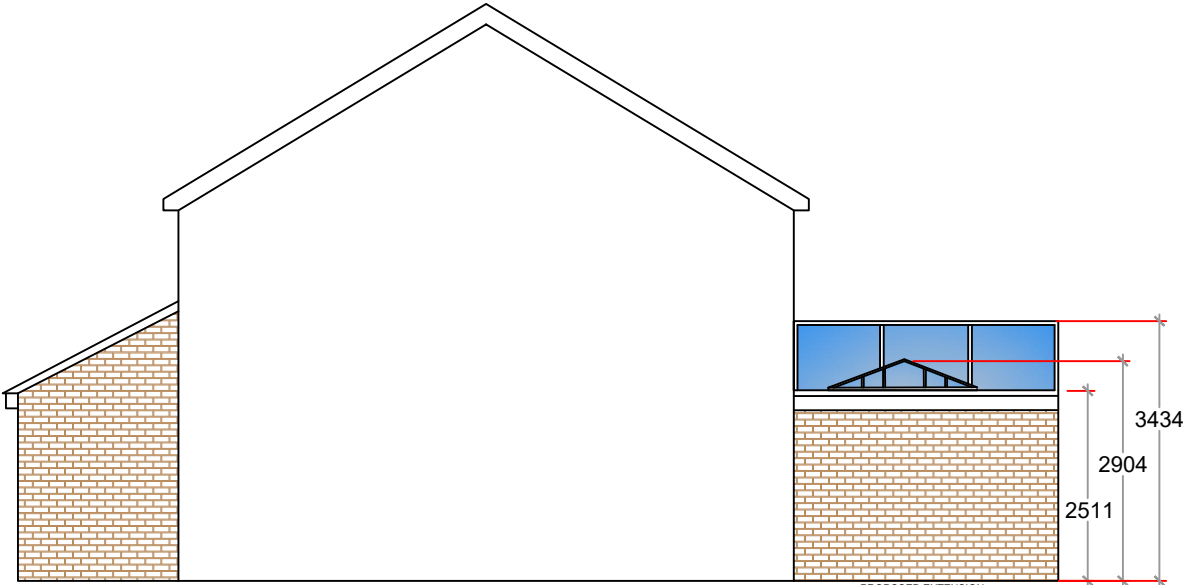
PROPOSED PORCH INFIL



No 26 Golden Acres

Proposed - North West Facing Rear Elevation

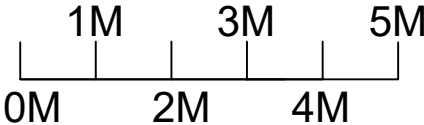
Skylight powder coated framework to manufactures detail.



Proposed - North East Facing Side Elevation

PROPOSED ELEVATIONS

SCALE 1:100@A3



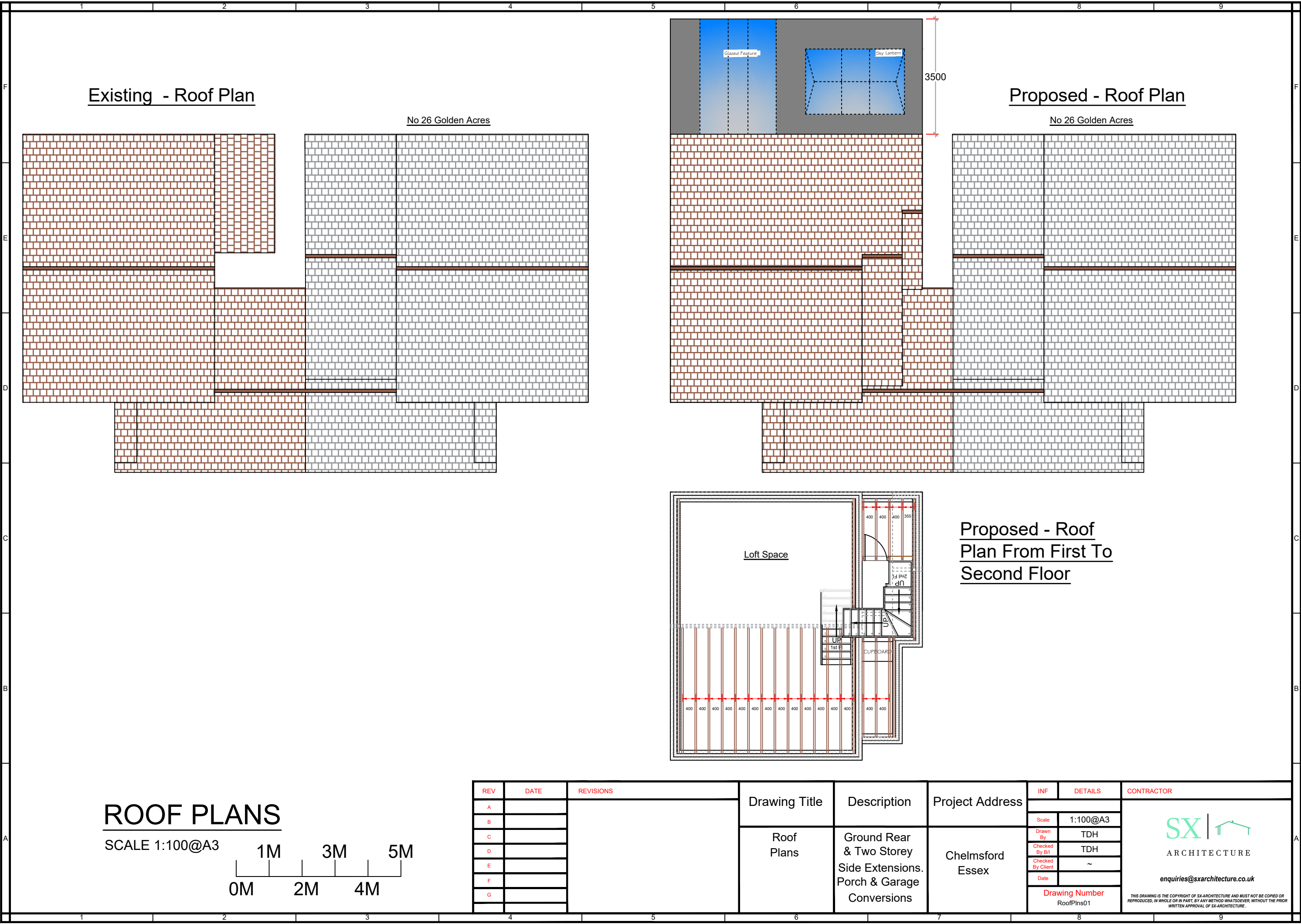
REV	DATE	REVISIONS
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Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
Proposed Elevations	Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions	Chelmsford Essex	Scale	1:100@A3	
			Drawn By	TDH	
			Checked By B/I	TDH	
			Checked By Client	~	
			Date		
			Drawing Number	PropElev01	



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Existing - Roof Plan

No 26 Golden Acres

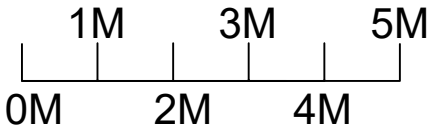
Proposed - Roof Plan

No 26 Golden Acres

Proposed - Roof
Plan From First To
Second Floor

ROOF PLANS

SCALE 1:100@A3



REV	DATE	REVISIONS
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Drawing Title	Description	Project Address
Roof Plans	Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions	Chelmsford Essex

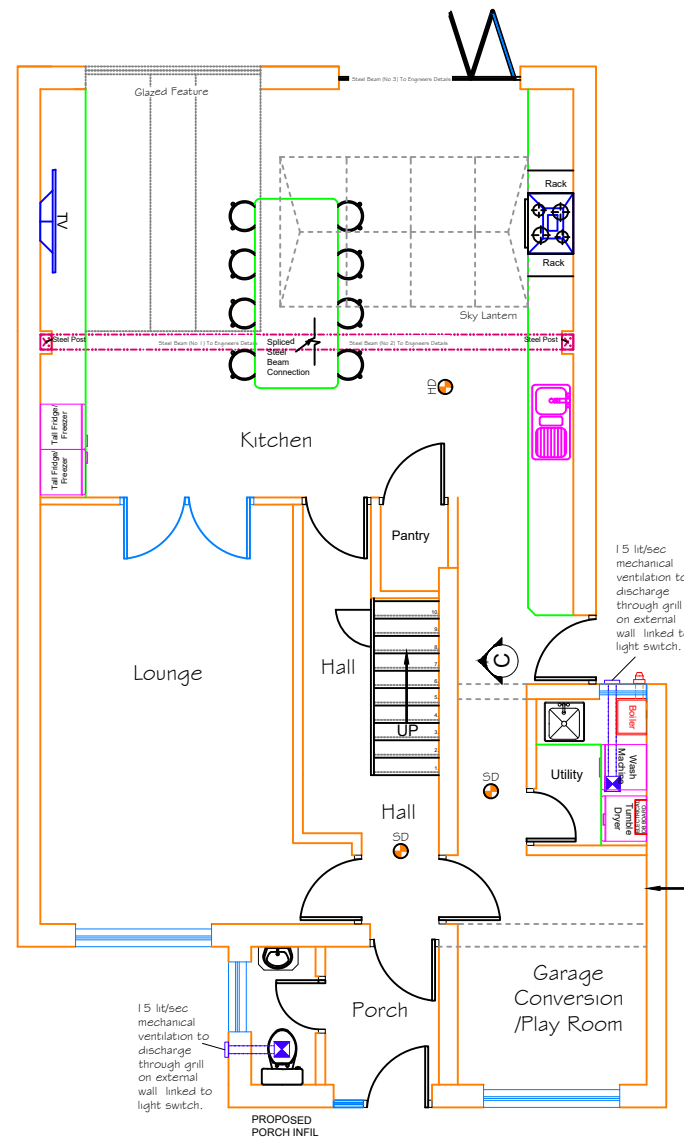
INF	DETAILS
Scale	1:100@A3
Drawn By	TDH
Checked By B/I	TDH
Checked By Client	~
Date	
Drawing Number	RoofPlans01

CONTRACTOR

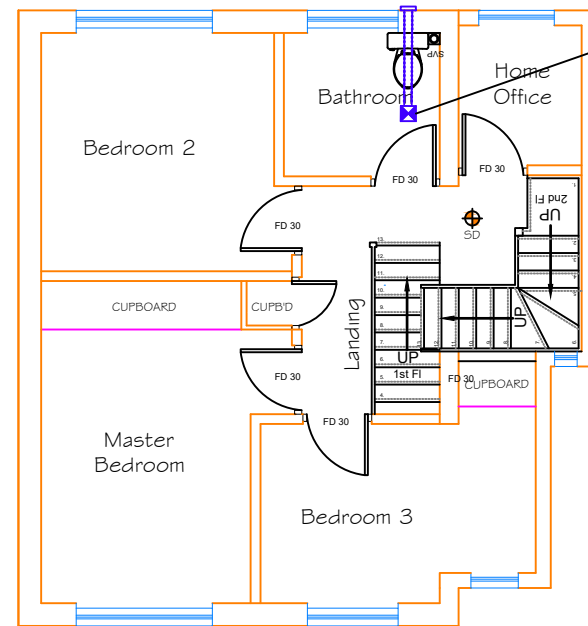


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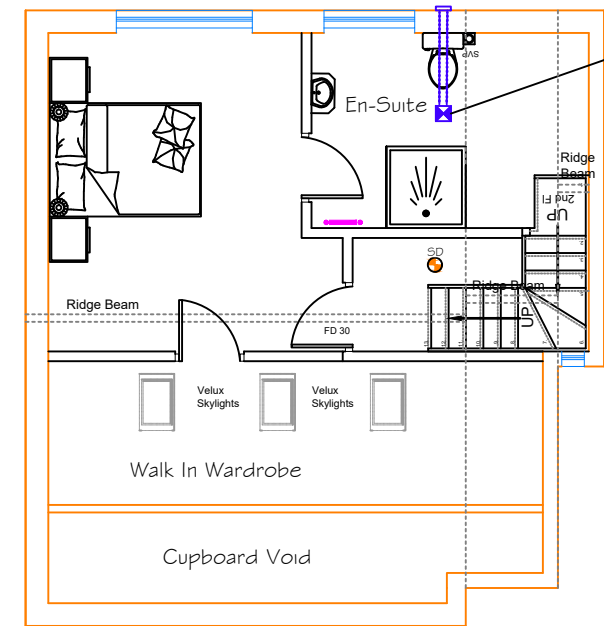
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Proposed Ground Floor Plan



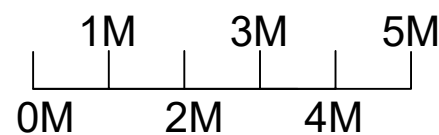
Proposed First Floor Plan



Proposed Second Floor Plan

PROPOSED PLANS

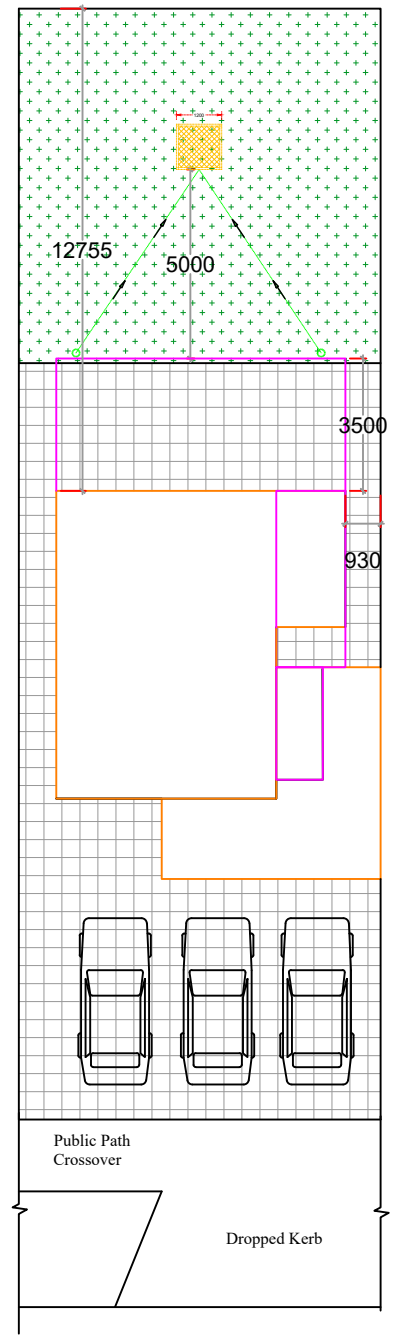
SCALE 1:100@A3



REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Proposed Loft Plans	Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions	Chelmsford Essex	Scale	1:100@A3	SX  ARCHITECTURE enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.
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D						Checked By Client	~	
E						Date		
F						Drawing Number	Exist&PropPins01	
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- 1.RAINWATER DRAINAGE: New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes.
- 2.Rainwater taken to new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill.
- 3.Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway.
- 4.Allow 1m3 capacity for every 25m2 of new roof area.Location position of soakaway and proposed new drain runs following further investigation of existing to be agreed with:
Client, BC & Constuction Co.

1. SOAKAWAY USING CRATES.
- Trench of soakaway to be provided slightly than designed depth after porosity test (if required) but just oove 1m3 min from invert level of pipe. Provide suitable geotextile over the base and up the sides of the trench over 100mm level and compact bed of coarse sand. Install aquacell crate units or equivalent as manufacturers details, Geotextile to be wrapped around crates. Provide 100mm of course sand between trench walls and over the aquacell structure. Backfill with suitable material.



BLOCK PLAN 1:200

SCALE
1:200@A3

LEGEND

- New Extension Lines
- House 28 Golden Acres

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A						Scale	NTS	
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number	Block&LocPlns01	
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Block & Location Plans

Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions

Chelmsford Essex

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Raising of the eave height to part of the proposed side extension to increase the head height of the staircase from first floor level to second floor into the proposed loft space.



Proposed - South East Facing Front Elevation

No 26 Golden Acres



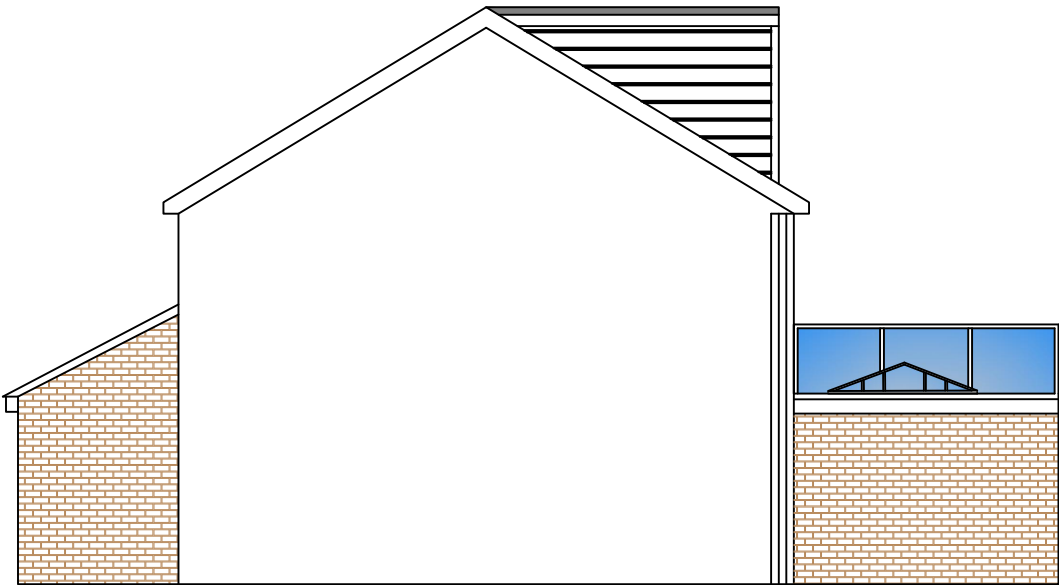
Existing - South West Facing Side Elevation



No 26 Golden Acres



Proposed - North West Facing Rear Elevation



Existing - North East Facing Side Elevation

PROPOSED ELEVATIONS

SCALE 1:100@A3
0M 1M 2M 3M 4M 5M

REV	DATE	REVISIONS
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Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
Proposed Loft Elevations	Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions	Chelmsford Essex	Scale 1:100@A3	Drawn By TDH	 enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.
			Checked By B/I	TDH	
			Checked By Client	~	
			Date		
			Drawing Number	PropElev01	

Notes :

FOUL DRAINAGE:

Due to the inspection of any manholes on the property the existing drain runs have been assumed. The builder is to expose any existing drain runs in the new connections all to the approval of the building control officer.

Notification to Anglian Water to build over a public sewer may also be required unless existing drains meet certain criteria.

THESE BEING ;

- 1. Sewer less than 3 metres deep.
- 2. Sewer 150mm diameter or less.
- 3. Length of sewer under a building must not exceed 6 metres.
- 4. No manholes or access point permitted under/in a building.
- 5. Gravity sewer and not pumped.
- 6. Suitable foundation design to ensure that no loads are imposed on the public sewer.

SURFACE WATER:

Surface water to disperse to new soakaway min 5 metres from building location to be determind on site by the builder and client.

LINTELS:

Use Catnic Standard Duty CG90/100 for standard duty lintels over openings in new external walls.

TREES:

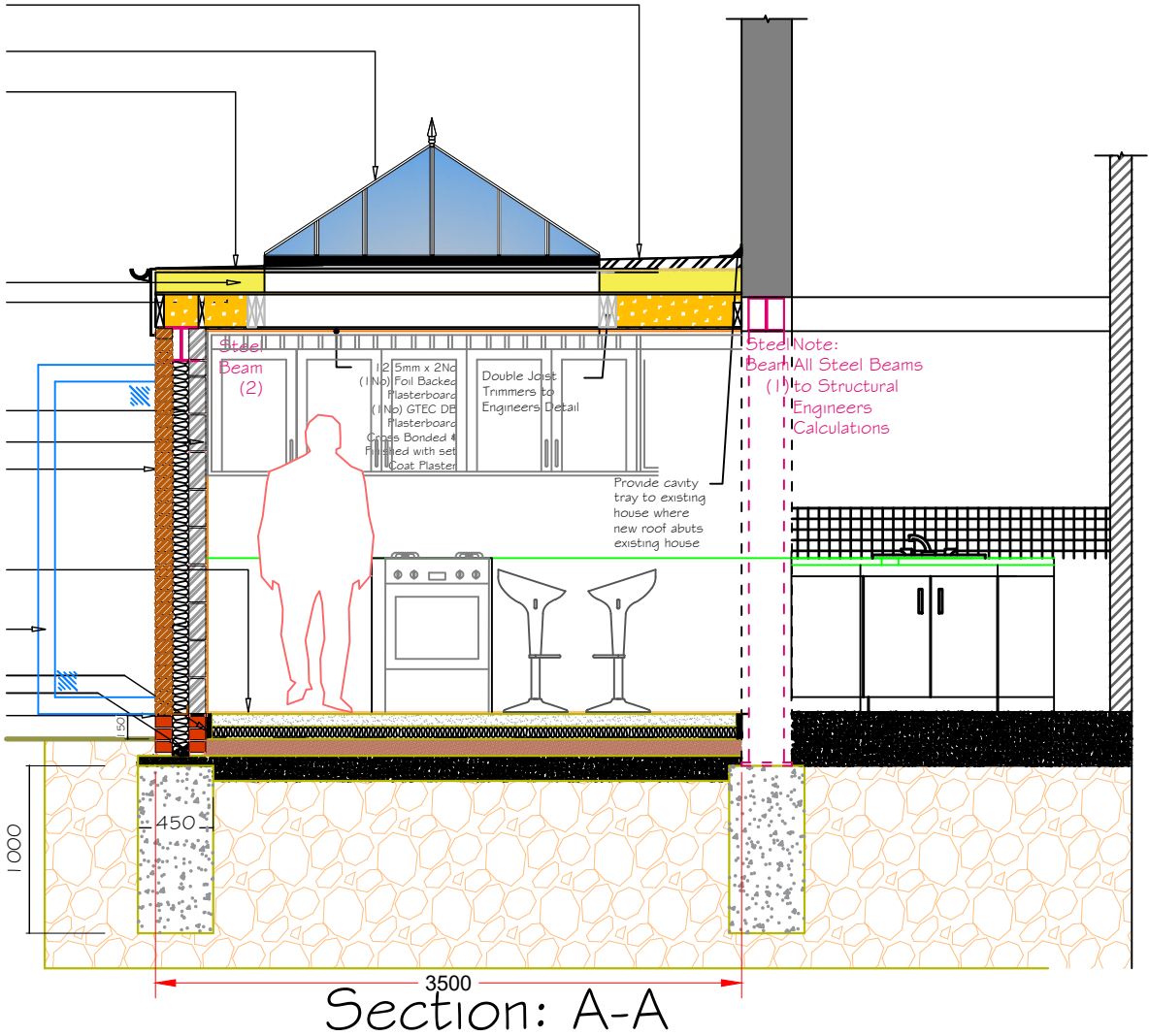
Close Proximity of tree foundations to be 2.1m at nearest point stepping up in equal steps to minimum 1.3m. Claymaster required to inner faces of foundation and suspended floor where required.

Angled Fillet 50 x 50 350mm Lead Flashing overlapped 150mm on to the roof with 150mm return up to the wall inserted in to brick line 20mm.
Skylantern to Manufacturers Details
Waterproof membrane with surface finish

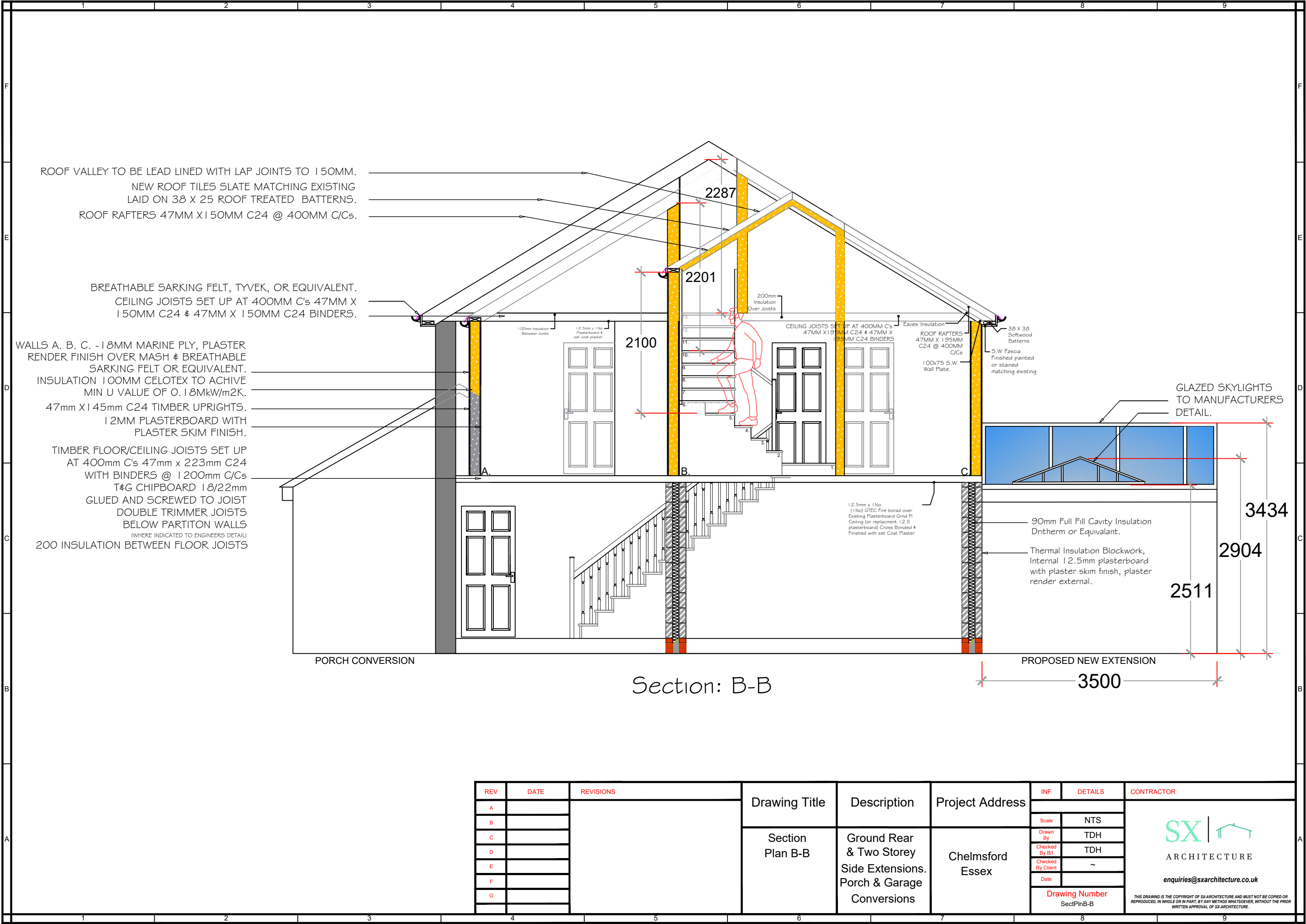
WARM DECK ROOF
Single ply membrane to be fixed to 22mm exterior quality plywood over 120mm Celotex Crown-Bond.
Insulation bonded to vapour control membrane on 22mm external quality plywood decking or similar approved on sw firings to minimum 1 in 80 fall on sw treated 47x195mm C24 flat roof joists at 400mm ctrs.
Note: Double trimmers around skylantern to engineers detail

Minimum 90mm Full Fill Cavity Insulation Dritherm or Equivalent.
Thermal Insulation Blockwork
Facing Brickwork to match existing
75mm sand / cement screed reinforced with D49 steel mesh fabric laid over 500g VCL 75mm Insulation, joints taped over 100mm ground bearing slab laid on 1200 gauge polythene membrane, lapped at edges with DPC, sand blinding on 150mm well graded, compacted hardcore.
Aluminium powder coat Bi-Fold Doors with UPVC house style windows to match all existing.
Perimeter Insulation.
Cavity Fill.
DPM Above Concrete.
G.L.

Foundation design and depths to match existing, final foundation depths to be agreed on site with local authority building inspector



REV			DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A					Section Plan A-A	Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions	Chelmsford Essex	Scale	NTS	SX ARCHITECTURE enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.
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C								Checked By B/I	TDH	
D								Checked By Client	~	
E								Date		
F								Drawing Number		
G								SectPlanA-A		



ROOF VALLEY TO BE LEAD LINED WITH LAP JOINTS TO 150MM.
NEW ROOF TILES SLATE MATCHING EXISTING
LAID ON 38 X 25 ROOF TREATED BATTERNS.
ROOF RAFTERS 47MM X 150MM C24 @ 400MM C/Cs.

BREATHABLE SARKING FELT, TYVEK, OR EQUIVALENT.
CEILING JOISTS SET UP AT 400MM C's 47MM X
150MM C24 & 47MM X 150MM C24 BINDERS.

WALLS A. B. C. - 18MM MARINE PLY, PLASTER
RENDER FINISH OVER MASH & BREATHABLE
SARKING FELT OR EQUIVALENT.
INSULATION 100MM CELOTEX TO ACHIEVE
MIN U VALUE OF 0.18MkWh/m2K.
47mm X 145mm C24 TIMBER UPRIGHTS.
12MM PLASTERBOARD WITH
PLASTER SKIM FINISH.
TIMBER FLOOR/CEILING JOISTS SET UP
AT 400mm C's 47mm x 223mm C24
WITH BINDERS @ 1200mm C/Cs
T&G CHIPBOARD 18/22mm
GLUED AND SCREWED TO JOIST
DOUBLE TRIMMER JOISTS
BELOW PARTITION WALLS
(WHERE INDICATED TO ENGINEERS DETAIL)
200 INSULATION BETWEEN FLOOR JOISTS

PORCH CONVERSION

Section: B-B

PROPOSED NEW EXTENSION

3500

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A						Scale	NTS	
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number		
G						SectPinB-B		

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Breathable sarking felt e.g. Tyvek Supra Plus or Equivalent.
Treated 47 x 150 C24 Joists set at 400mm C's Birdmouthed over
100mm x 50mm wall plate fixed to blockwork at max 1.8m centres
with 1000mm x 30mm x 5mm galvanised straps.
Windows to match existing style.

Minimum 90mm Full Fill Cavity Insulation Dnitherm or Equivalent.
Facing Brickwork/Thermal Blockwork with render finish to match existing.
Perimeter Insulation.
DPM Above Concrte.
Cavity Fill.

Architectural cross-section drawing of a building facade and floor assembly. The drawing shows a sloped roof with a gutter, a wall with a window, and a floor assembly with timber joists and insulation. A human figure is shown for scale. Dimensions are provided for various components.

Labels and dimensions:

- Catnic Over Window to Engineers Details
- 100mm Wide Gutter
- S.W Fascia Finished painted or stained matching existing
- Existing ceiling to be upgraded with 100mm insulation between joists with 15mm fireline plasterboard fixed @ 400mm Centres to joists.
- Timber floor joists set up at 400mm C's 47x195mm C24, T&G chipboard 18/22mm glued and screwed to joists. Double trimmer Joists Below Partition Walls (where Indicated to Engineers Detail) 200 Insulation Between Floor Joists
- Existing Catnic over Existing Door.
- 100mm Insulation Between Joists
- Note: All Steel Beams to Structural Engineers Calculations
- Dimensions: 250, 450, 1000

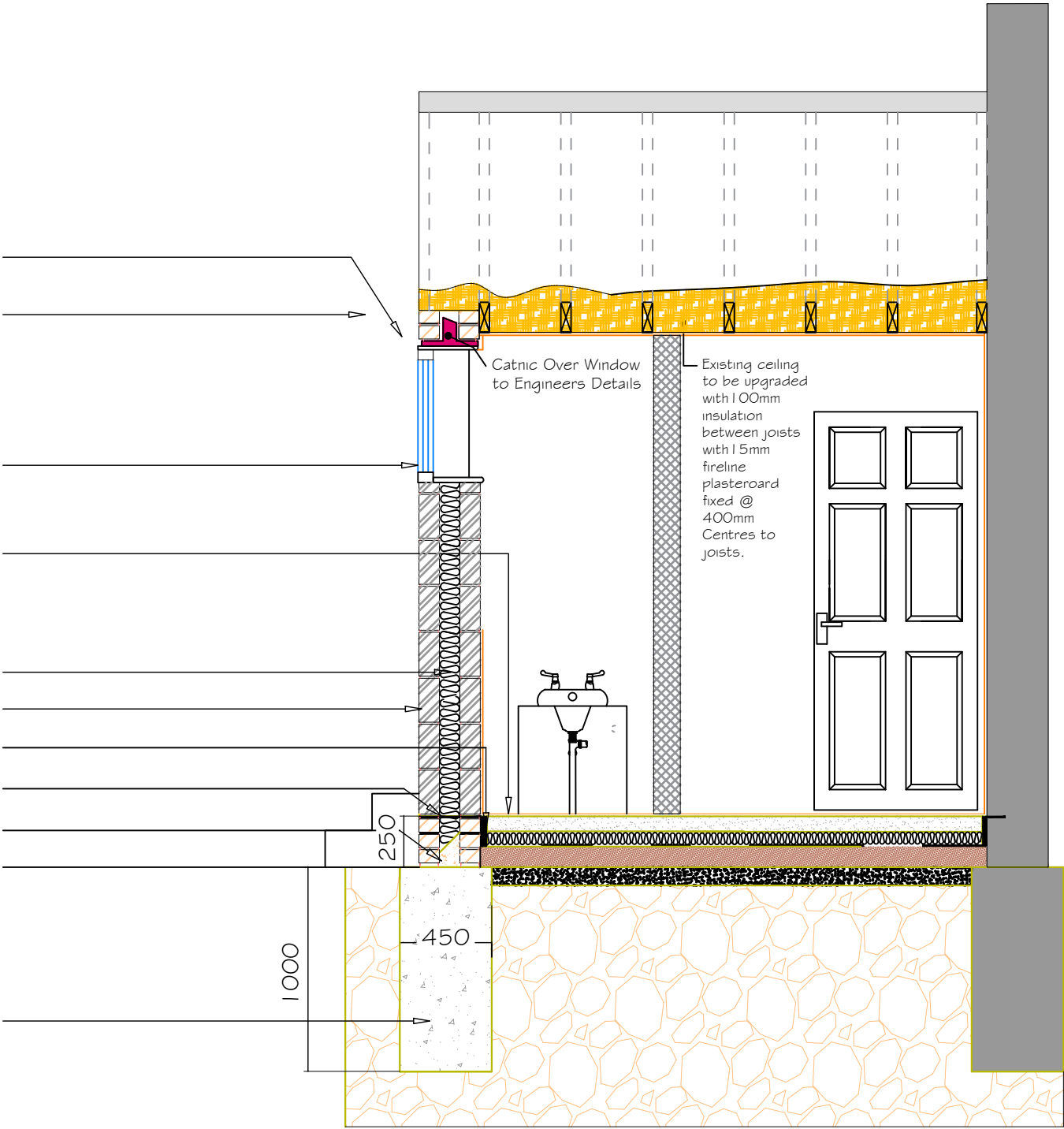
Section: C-C
GARAGE CONVERSION

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Section Plan C-C Garage Conversion	Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions	Chelmsford Essex			 enquiries@sxarchitecture.co.uk
B						Scale	NTS	
C						Drawn By	TDH	
D						Checked By B/I	TDH	
E						Checked By Client	~	
F						Date		
G						Drawing Number		
						SectPlnC-C		
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Loft insulation 150mm between joists with 200mm over.
Cross ventilation with eaves ventilation strip with a 25mm continuous gap
at eaves level with insert grill and 50mm air gap between felt and insulation.
Breathable sarking felt e.g. Tyvek Supra Plus or Equivalent.

Windows to match existing style.
75mm sand / cement screed reinforced with D49 steel mesh fabric laid
over 500g VCL 75mm Insulation, joints taped over 100mm ground
bearing slab laid on 1200 gauge polythene membrane, lapped at edges
with DPC, sand blinding on 150mm well graded, compacted hardcore.
90mm Full Fill Cavity Insulation Dritherm or Equivalent.
Facing Brickwork/Thermal Blockwork with render finish to match existing.
Perimeter Insulation.
DPM Above Concrte.
Cavity Fill.

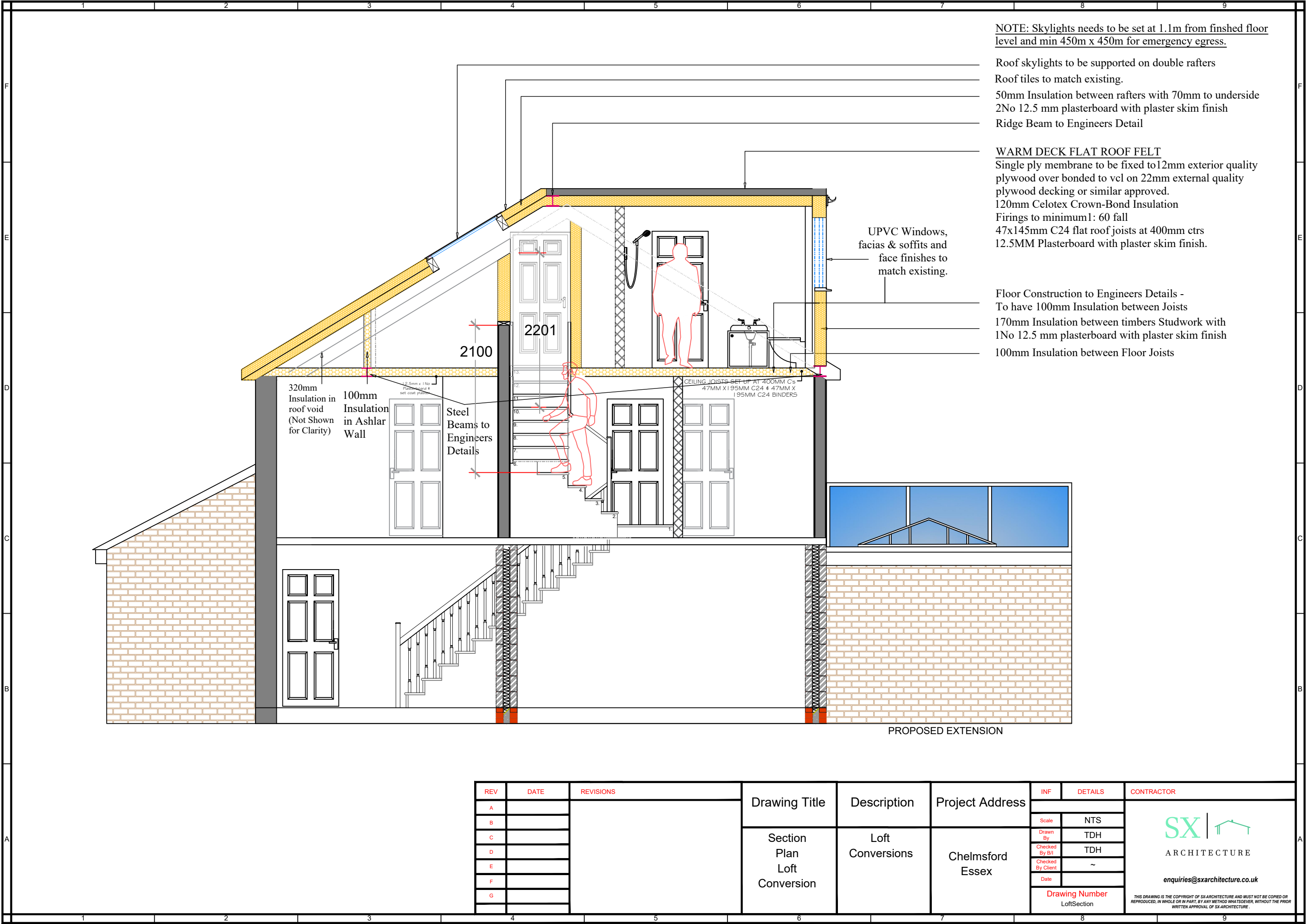
Foundation design and depths to match
existing, final foundation depths to be agreed
on site with local authority building inspector.



Section: D-D
PORCH CONVERSION

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A						Scale	NTS	
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date	25/05/23	
F						Drawing Number	PorchD-D	
G								

Section Plan D-D Porch Conversion	Ground Rear & Two Storey Side Extensions. Porch & Garage Conversions	Chelmsford Essex	SX ARCHITECTURE enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.
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NOTE: Skylights needs to be set at 1.1m from finished floor level and min 450m x 450m for emergency egress.

- Roof skylights to be supported on double rafters
- Roof tiles to match existing.
- 50mm Insulation between rafters with 70mm to underside
- 2No 12.5 mm plasterboard with plaster skim finish
- Ridge Beam to Engineers Detail

WARM DECK FLAT ROOF FELT
Single ply membrane to be fixed to 12mm exterior quality plywood over bonded to vcl on 22mm external quality plywood decking or similar approved.
120mm Celotex Crown-Bond Insulation
Firings to minimum 1: 60 fall
47x145mm C24 flat roof joists at 400mm ctrs
12.5MM Plasterboard with plaster skim finish.

Floor Construction to Engineers Details -
To have 100mm Insulation between Joists
170mm Insulation between timbers Studwork with
1No 12.5 mm plasterboard with plaster skim finish
100mm Insulation between Floor Joists

UPVC Windows,
facias & soffits and
face finishes to
match existing.

PROPOSED EXTENSION

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A						Scale	NTS	
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number		
G						LoftSection		

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