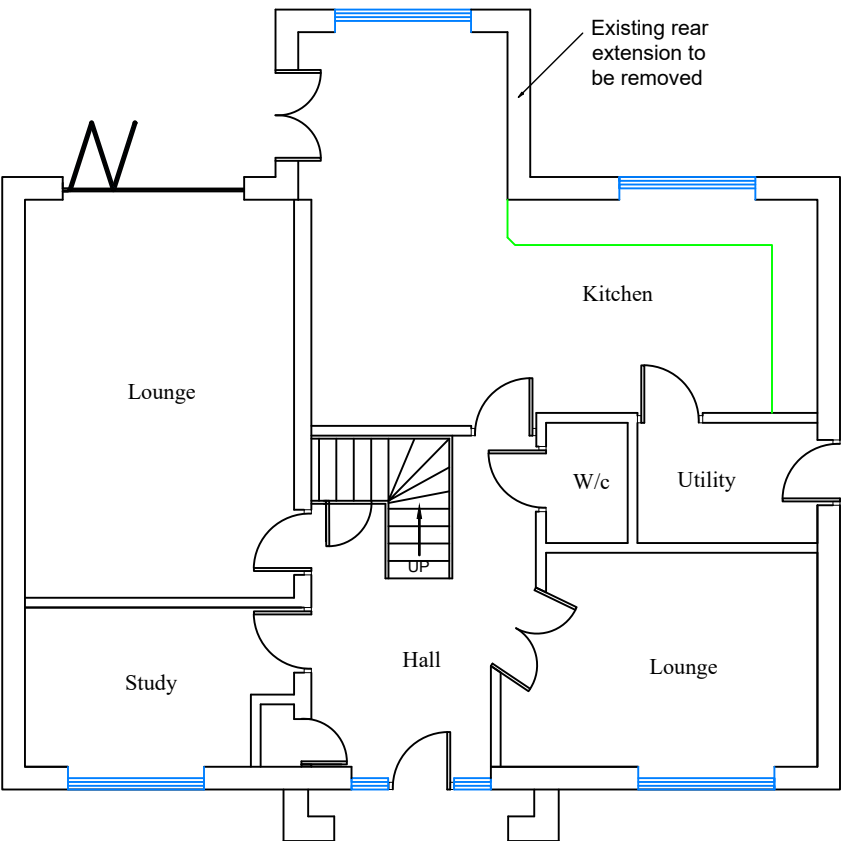
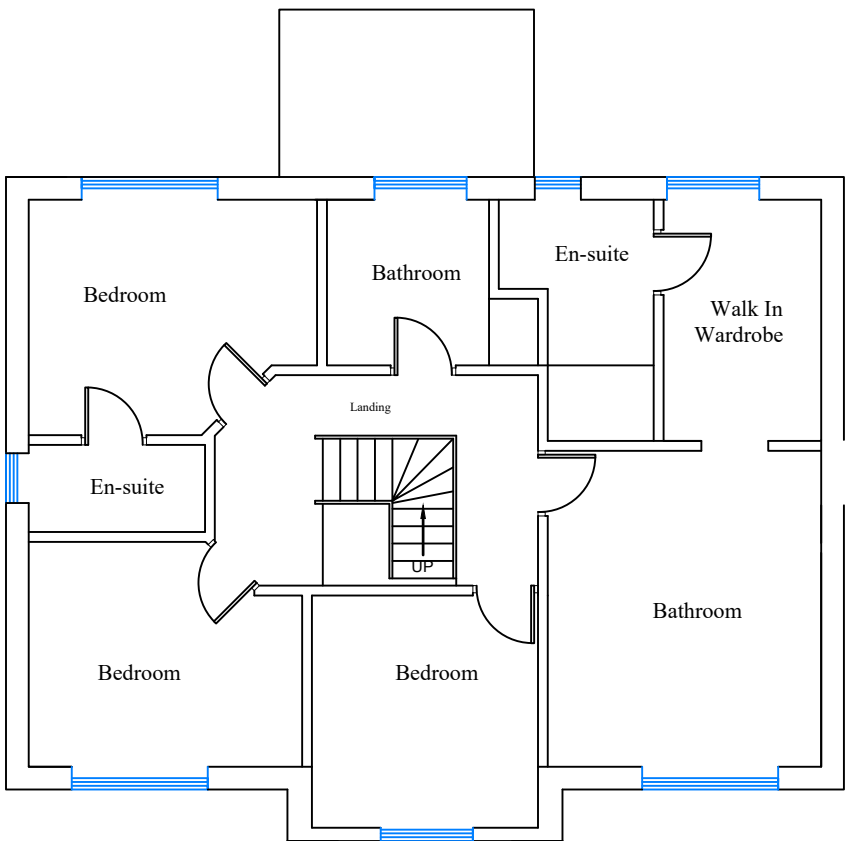
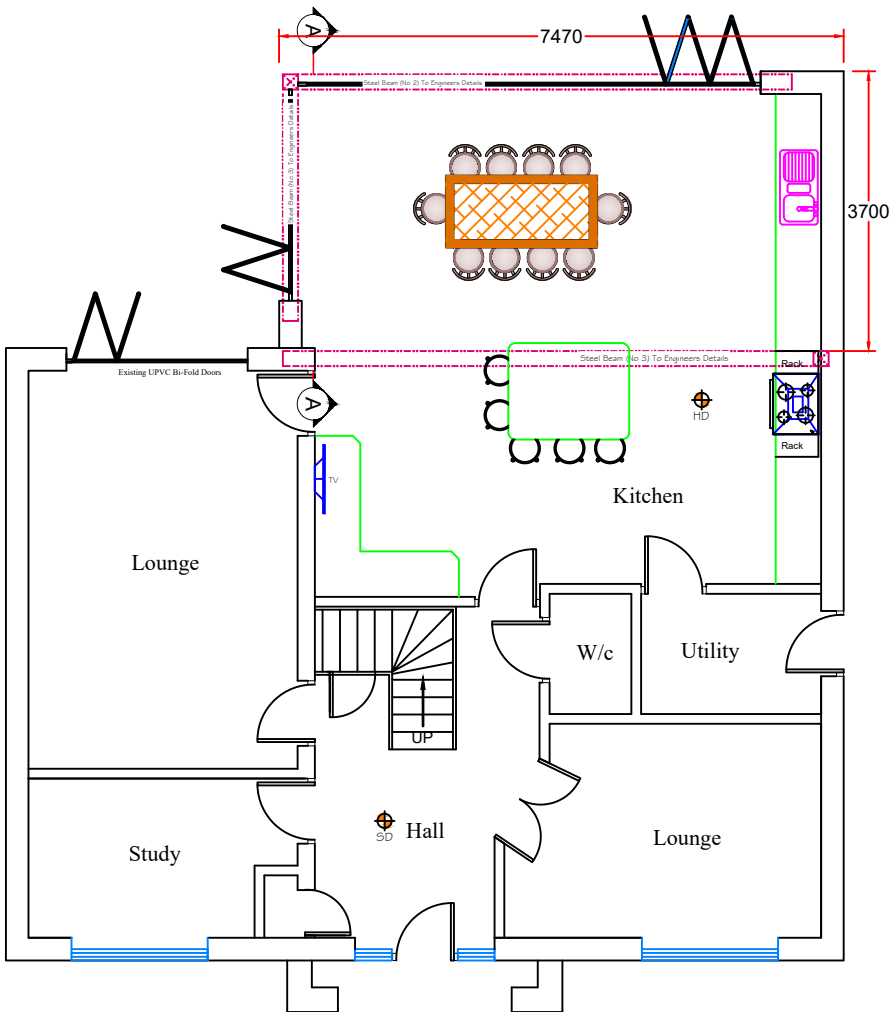




Existing Ground Floor Plan



Existing First Floor Plan



Proposed Ground Floor Plan

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Existing & Proposed Plans	Single Storey Rear Extension	Little Canfield Gt Dunmow	Scale	1:100@A3	SX ARCHITECTURE enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURAL SERVICES AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURAL.
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number	ExistPlans01	
G								



Existing & Proposed - West Facing Front Elevation



Existing - East Facing RearElevation

Existing rear extension
to be removed



Existing - North Facing Side Elevation

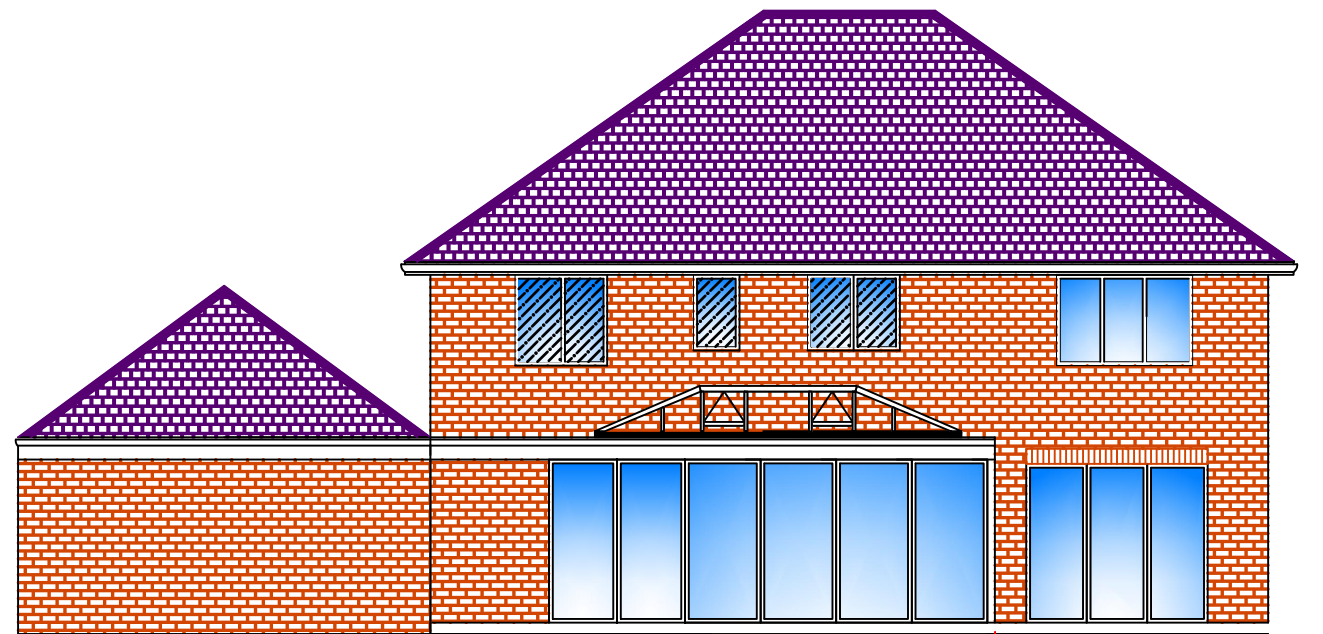


Existing - South Facing Side Elevation

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Existing Elevations	Single Storey Rear Extension	Little Canfield Gt Dunmow	Scale	1:100@A3	SX  ARCHITECTURE enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURAL SERVICES AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURAL.
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D						Checked By Client	~	
E						Date		
F						Drawing Number	ExistElev01	
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Existing & Proposed - West Facing Front Elevation



Proposed Extension
7470
Proposed - East Facing Rear Elevation



Proposed Extension
3700
Proposed - North Facing Side Elevation

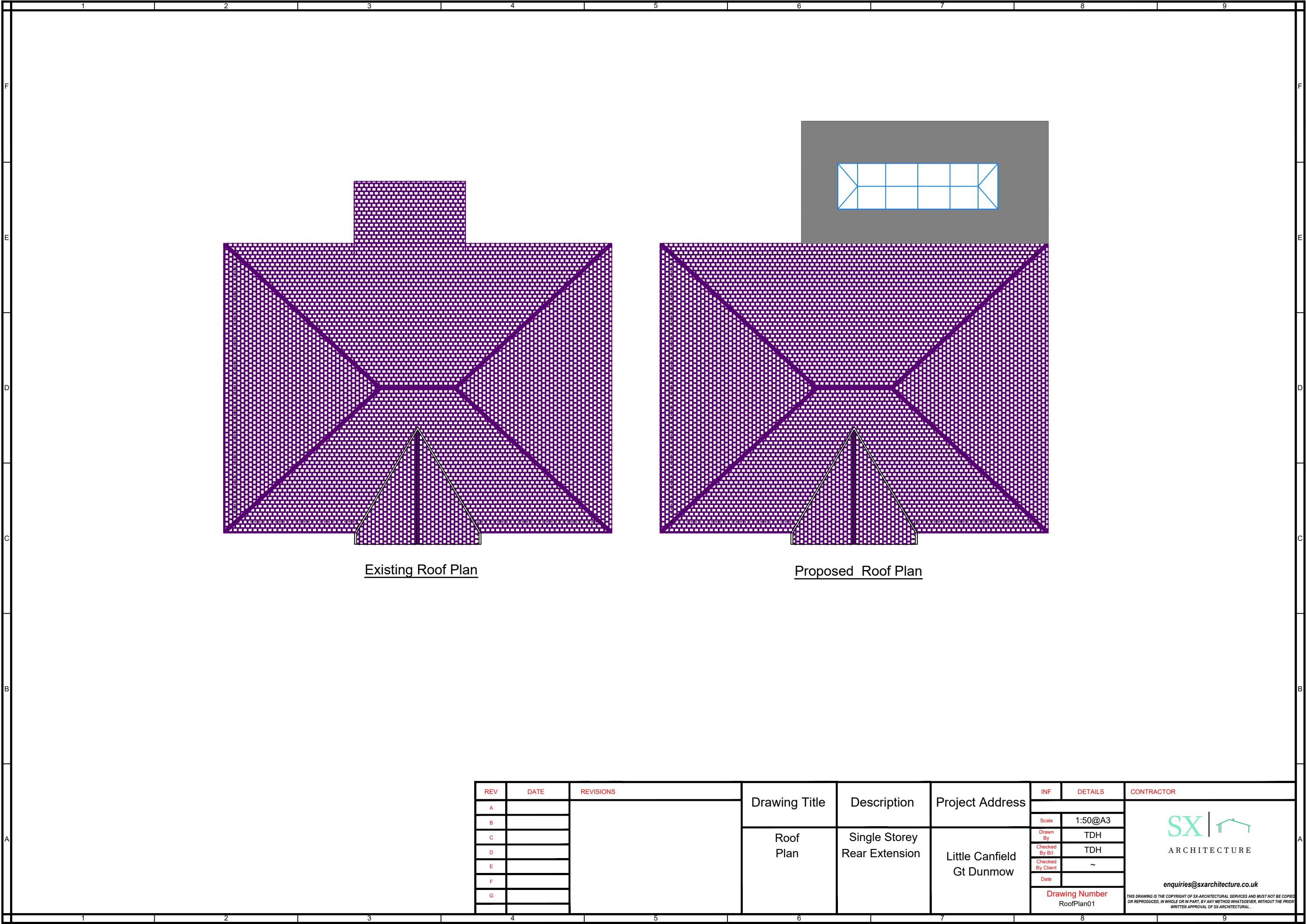


Proposed Extension
3700
Proposed - South Facing Side Elevation

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Proposed Elevations	Single Storey Rear Extension	Little Canfield Gt Dunmow	Scale	1:100@A3	
B						Drawn By	TDH	
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D						Checked By Client	~	
E						Date		
F						Drawing Number	PropElev01	
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enquiries@sxarchitecture.co.uk

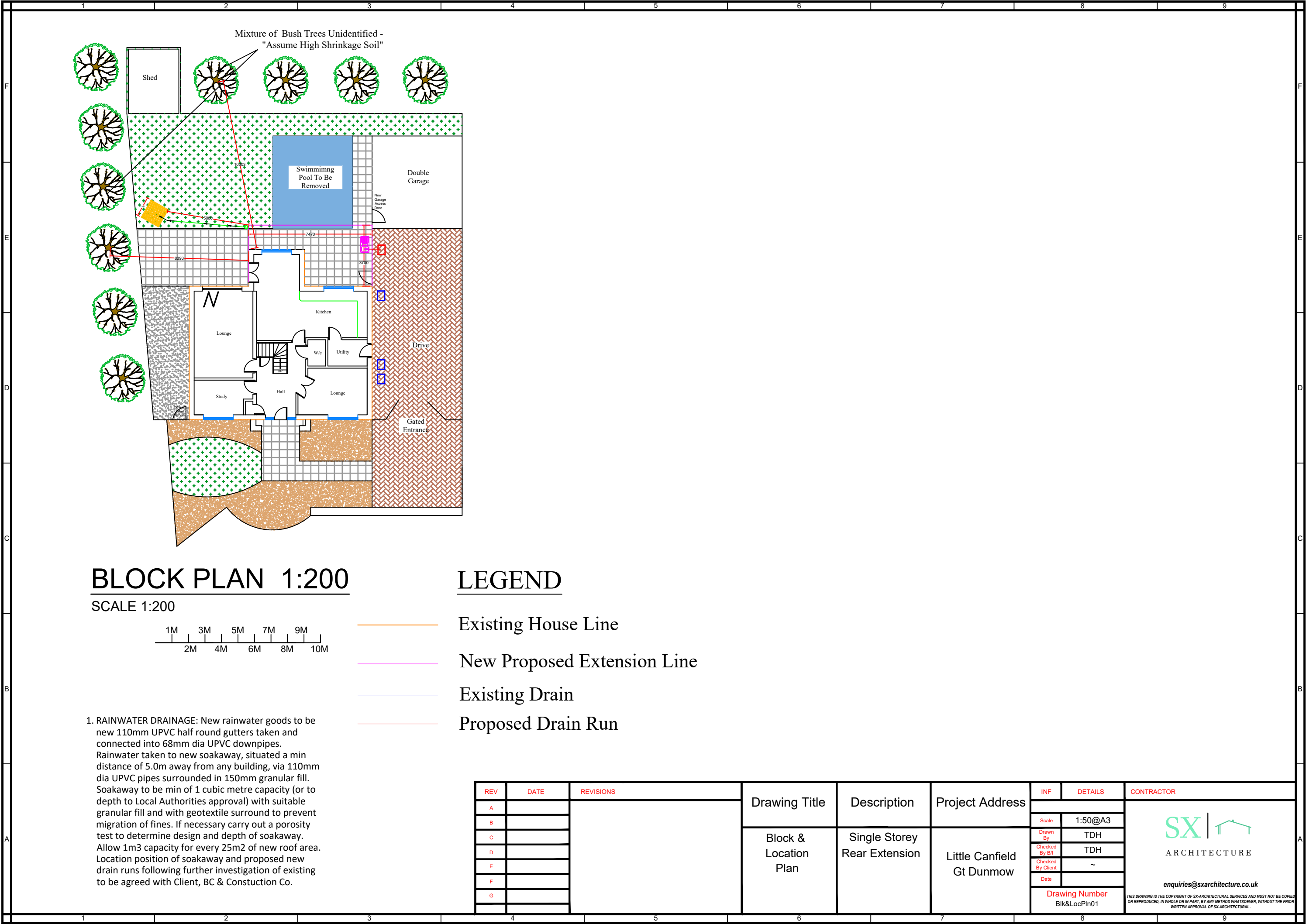
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Existing Roof Plan

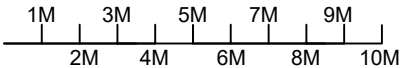
Proposed Roof Plan

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Roof Plan	Single Storey Rear Extension	Little Canfield Gt Dunmow	Scale	1:50@A3	SX  ARCHITECTURE enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURAL SERVICES AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURAL.
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number		THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURAL SERVICES AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURAL.
G						RoofPlan01		



BLOCK PLAN 1:200

SCALE 1:200



LEGEND

- Existing House Line
- New Proposed Extension Line
- Existing Drain
- Proposed Drain Run

1. RAINWATER DRAINAGE: New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway. Allow 1m3 capacity for every 25m2 of new roof area. Location position of soakaway and proposed new drain runs following further investigation of existing to be agreed with Client, BC & Constuction Co.

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Block & Location Plan	Single Storey Rear Extension	Little Canfield Gt Dunmow			SX  ARCHITECTURE enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURAL SERVICES AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURAL.
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D						Checked By B/I	TDH	
E						Checked By Client	~	
F						Date		
G						Drawing Number		
						Blk&LocPin01		

Notes :

FOUL DRAINAGE:

Due to the inspection of any manholes on the property the existing drain runs have been assumed. The builder is to expose any existing drain runs in the new connections all to the approval of the building control officer. Notification to Anglian Water to build over a public sewer may also be required unless existing drains meet certain criteria.

THESE BEING ;

- 1. Sewer less than 3 metres deep.
- 2. Sewer 150mm diameter or less.
- 3. Length of sewer under a building must not exceed 6 metres.
- 4. No manholes or access point permitted under/in a building.
- 5. Gravity sewer and not pumped.
- 6. Suitable foundation design to ensure that no loads are imposed on the public sewer.

SURFACE WATER:

Surface water to disperse to new soakaway min 5 metres from building location to be determind on site by the builder and client.

LINTELS:

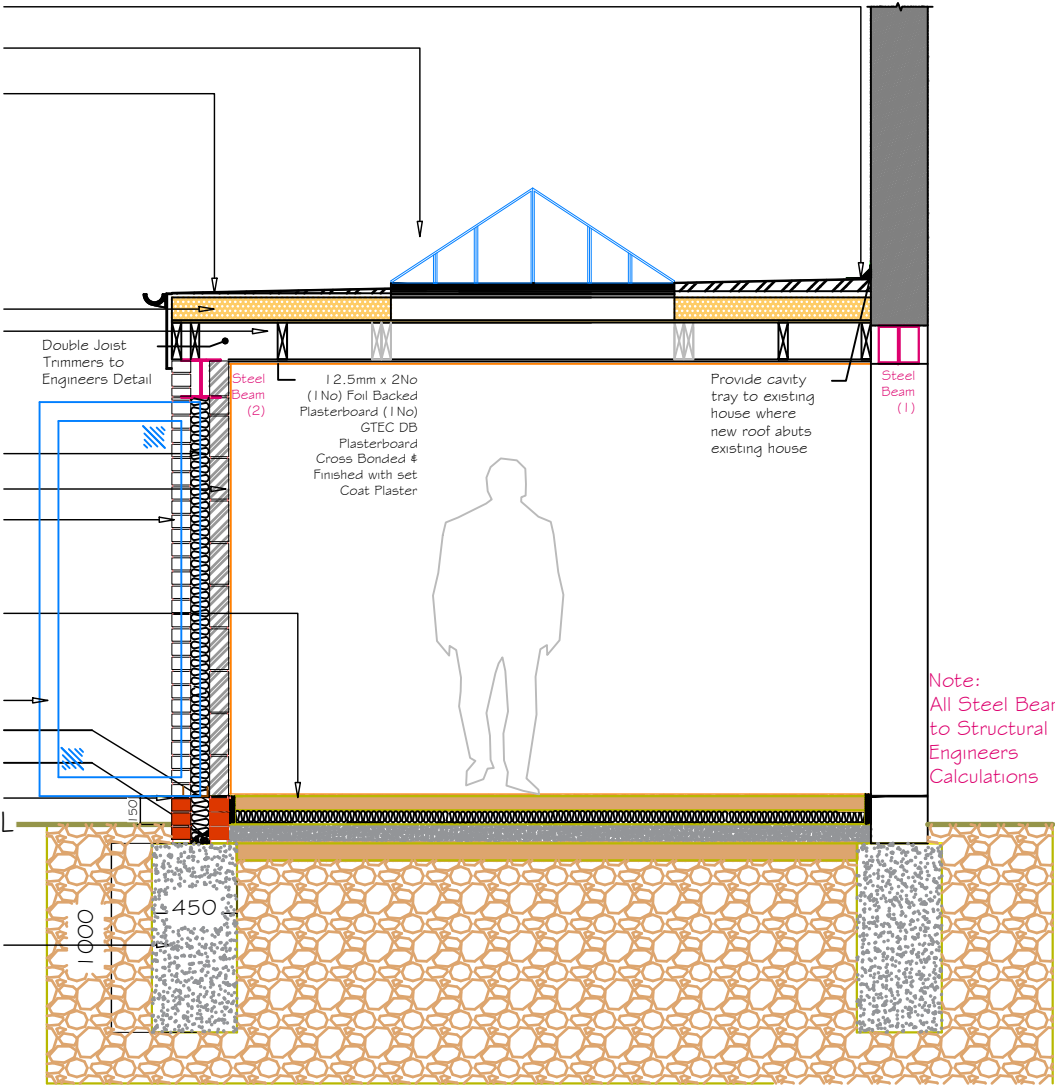
Use Catnic Standard Duty CG90/100 for standard duty lintels over openings in new external walls.

Angled Fillet 50 x 50 350mm Lead Flashing overlapped 150mm on to the roof with 150mm return up to the wall inserted in to brick line 20mm.
Skylantern to Manufacturers Details
Waterproof membrane with surface finish

WARM DECK ROOF
Single ply membrane to be fixed to 22mm exterior quality plywood over 120mm Celotex Crown-Bond.
Insulation bonded to vapour control membrane on 22mm external quality plywood decking or similar approved on sw firings to minimum 1 in 80 fall on sw treated 47x195mm C24 flat roof joists at 400mm ctrs.
Note: Double trimmers around skylantern to engineers detail

90mm Full Fill Cavity Insulation Dritherm or Equivalent
Thermal Insulation Blockwork
Facing Brickwork to match existing
75mm sand / cement screed reinforced with D49 steel mesh fabric laid over 500g VCL 75mm Insulation, joints taped over 100mm ground bearing slab laid on 1200 gauge polythene membrane, lapped at edges with DPC, sand blinding on 150mm well graded, compacted hardcore.
Bi-Fold Doors to match existing house style windows
Perimeter Insulation
Cavity Fill
DPM Above Concrete
G.L

Foundation design and depths to match existing, final foundation depths to be agreed on site with local authority building inspector



Section A-A: NTS

TREES:

Close Proximity of tree foundations to be 2.1m at nearest point stepping up in equal steps to minimum 1.3m. Claymaster required to inner faces of foundation and suspended floor where required.

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Section Plan	Single Storey Rear Extension	Little Canfield Gt Dunmow	Scale	NTS	SX  ARCHITECTURE enquiries@sxarchitecture.co.uk THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURAL SERVICES AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURAL.
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C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number		
G						SectionPlan01		