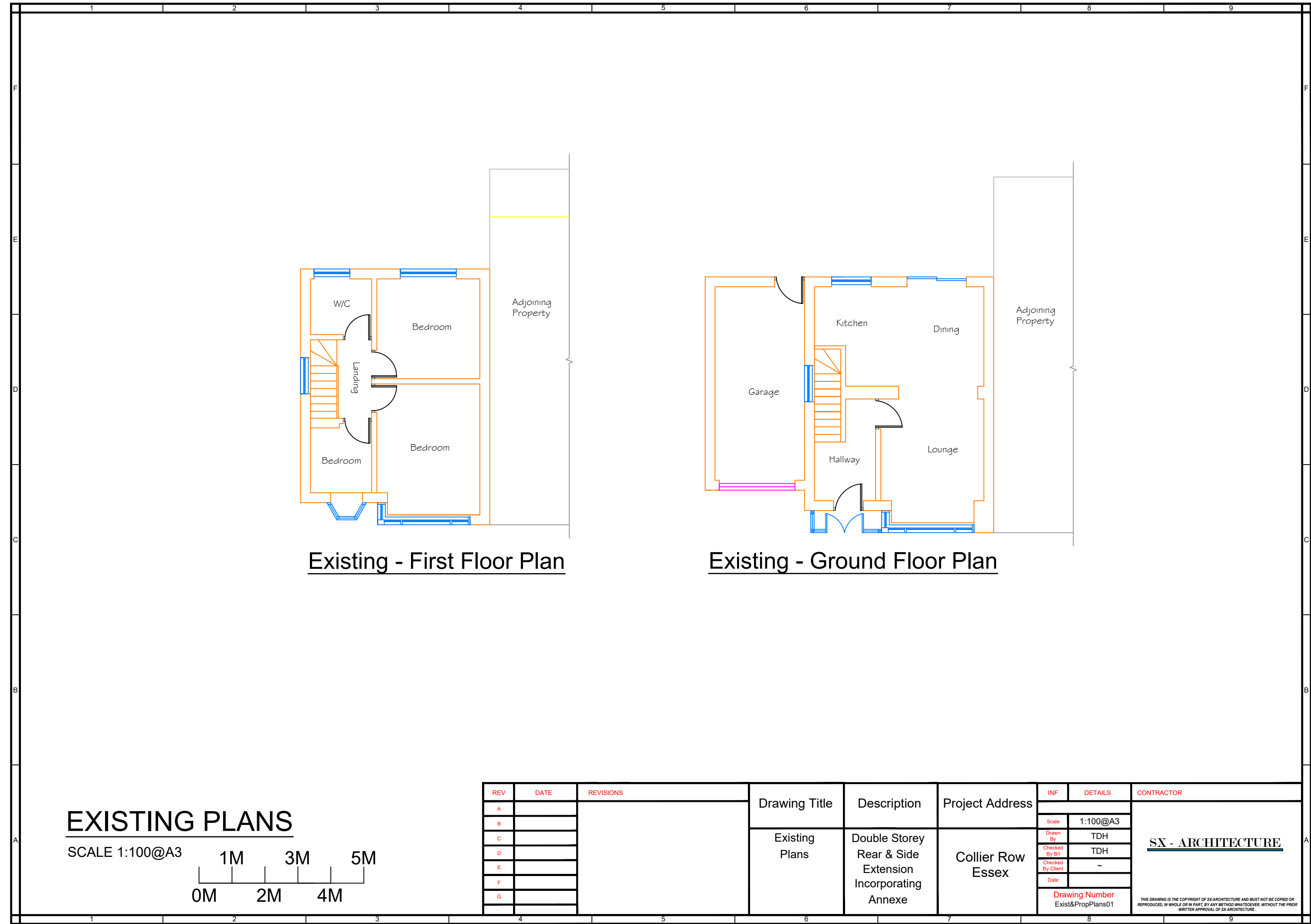


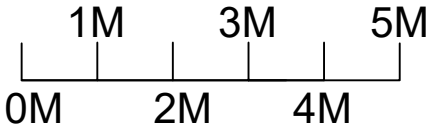


Existing - First Floor Plan

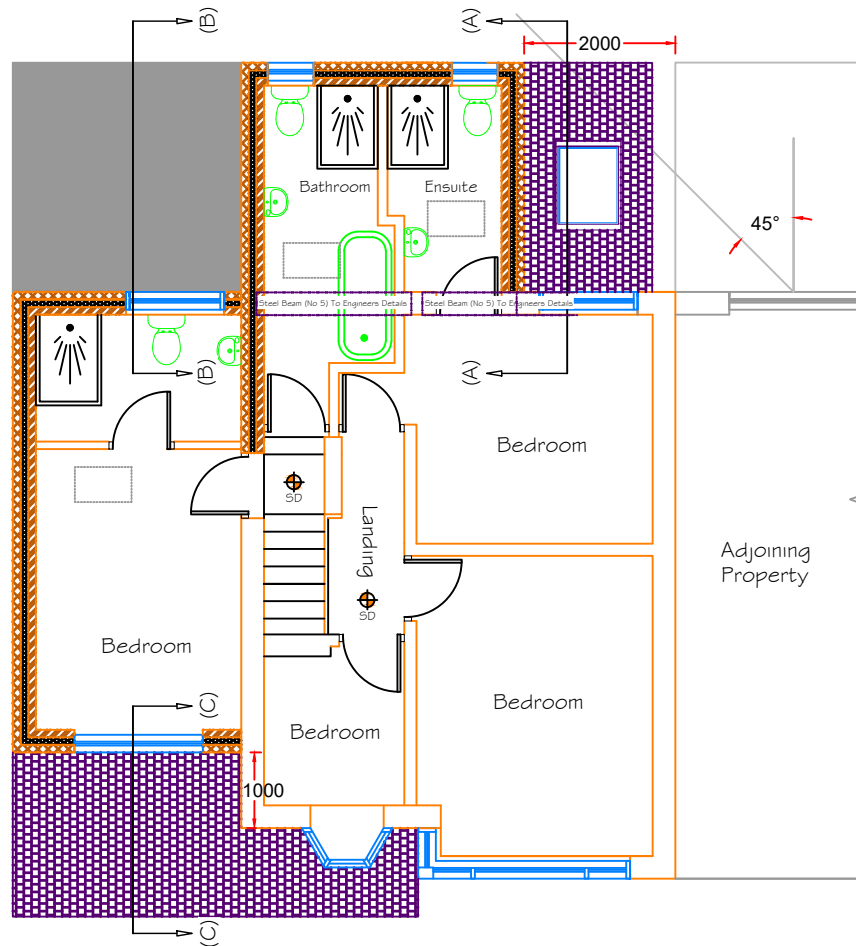
Existing - Ground Floor Plan

EXISTING PLANS

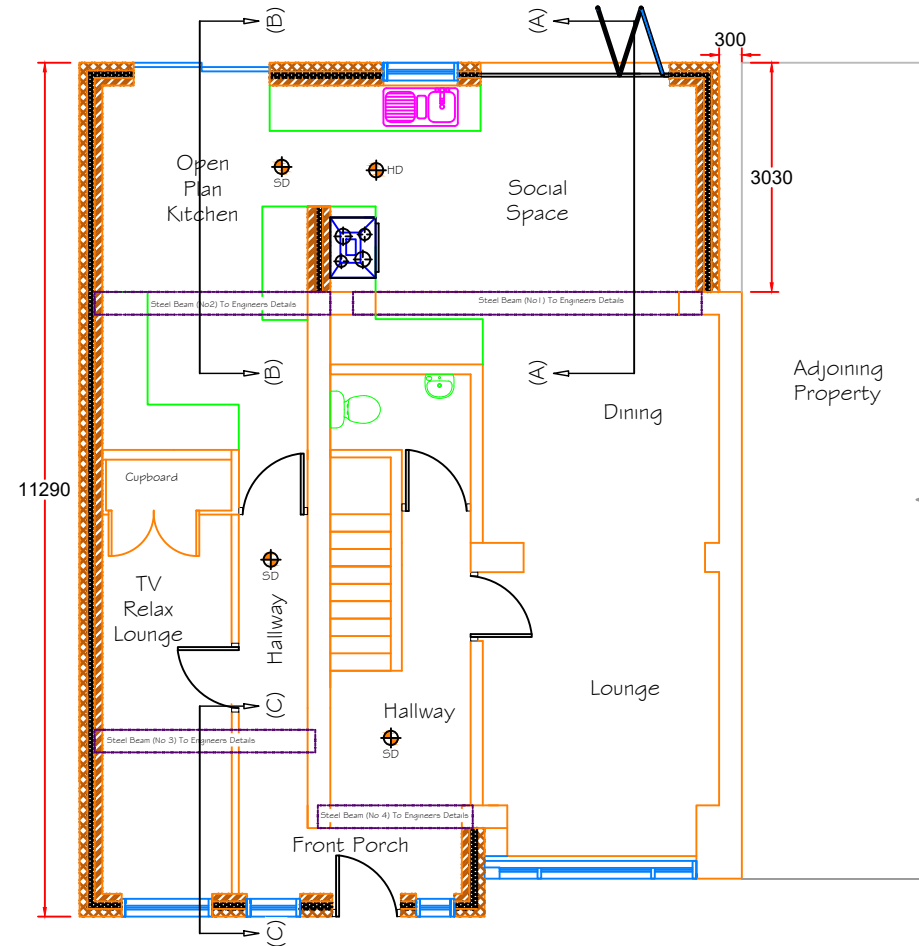
SCALE 1:100@A3



REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Existing Plans	Double Storey Rear & Side Extension Incorporating Annexe	Collier Row Essex	Scale	1:100@A3	SX - ARCHITECTURE THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number	Exist&PropPlans01	
G								



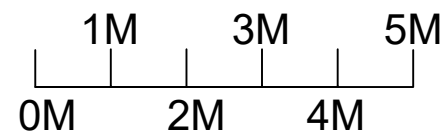
Proposed - First Floor Plan



Proposed - Ground Floor Plan

PROPOSED PLANS

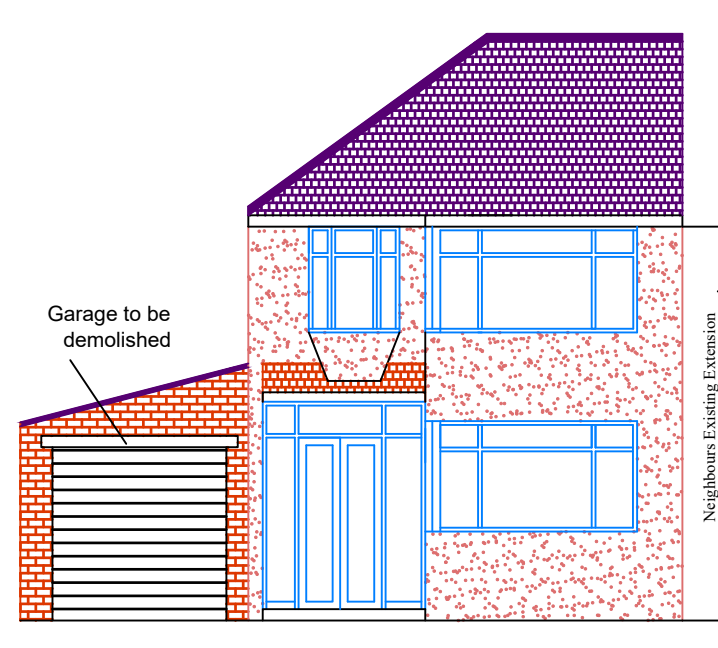
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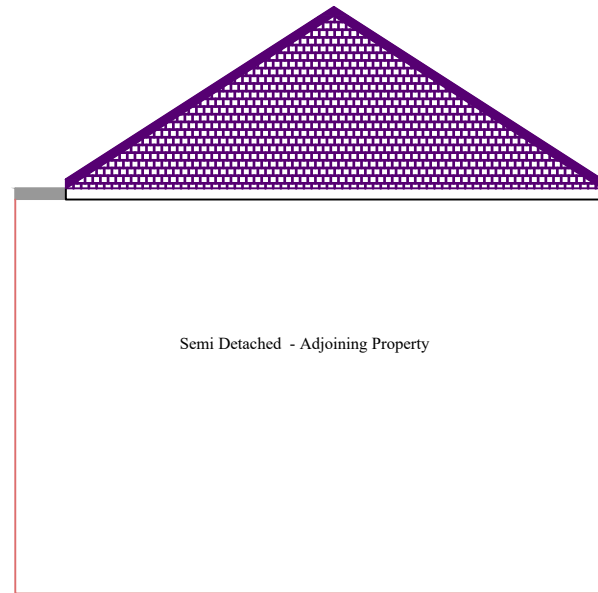
REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A								
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			Proposed Plans	Double Storey Rear & Side Extension Incorporating Annexe	Collier Row Essex	Scale	1:100@A3	SX - ARCHITECTURE THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.
						Drawn By	TDH	
						Checked By B/I	TDH	
						Checked By Client	~	
						Date		
						Drawing Number	Exist&PropPlans01	



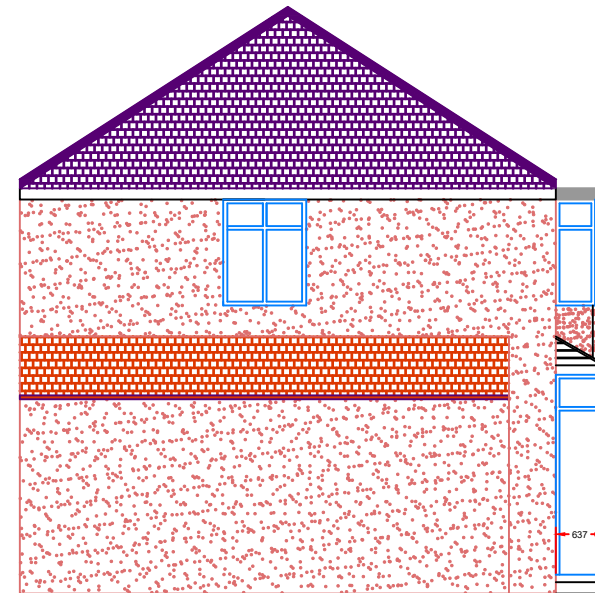
Existing - Northeast Facing Rear Elevation



Existing - Southwest Facing Front Elevation



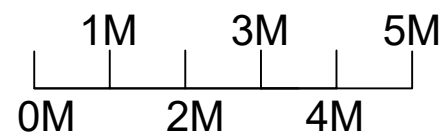
Existing - NorthWest Facing Side Elevation



Existing - Southeast Facing Side Elevation

EXISTING ELEVATIONS

SCALE 1:100@A3



REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A			Existing Elevations	Double Storey Rear & Side Extension Incorporating Annexe	Collier Row Essex	Scale	1:100@A3	SX - ARCHITECTURE
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number	ExistElev-01	THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.
G								



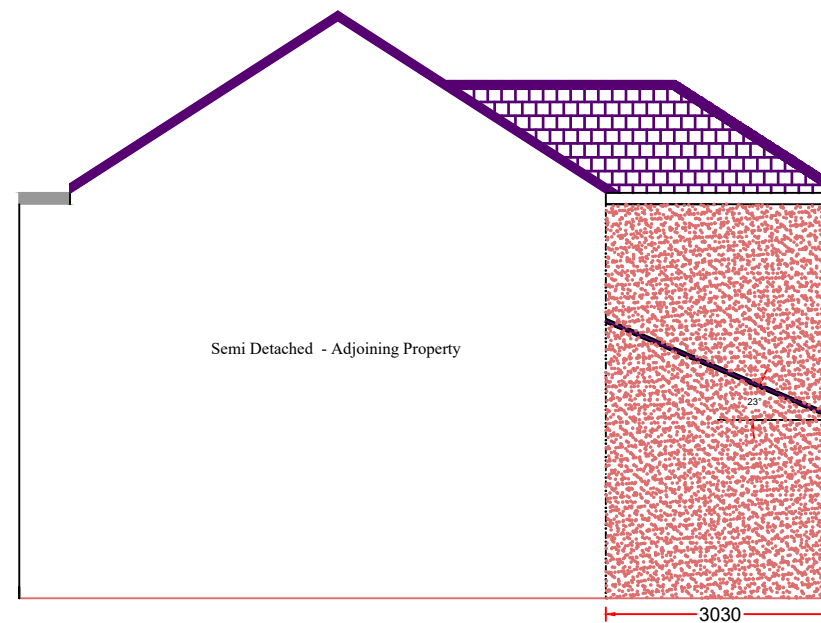
Proposed - Northeast Facing Rear Elevation



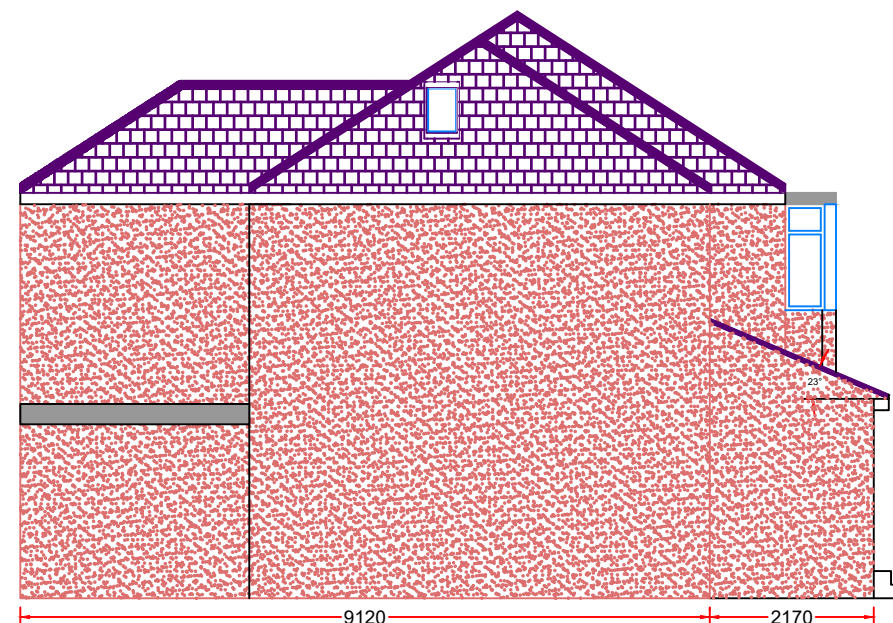
Proposed - Southwest Facing Front Elevation

Materials

Roof: Pitched roof with Cement tiles/Felt to flat roof
Walls: Rendered Finish
Windows/Doors: White UPVC to match existing



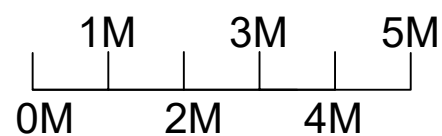
Proposed - NorthWest Facing Side Elevation



Proposed - Southeast Facing Side Elevation

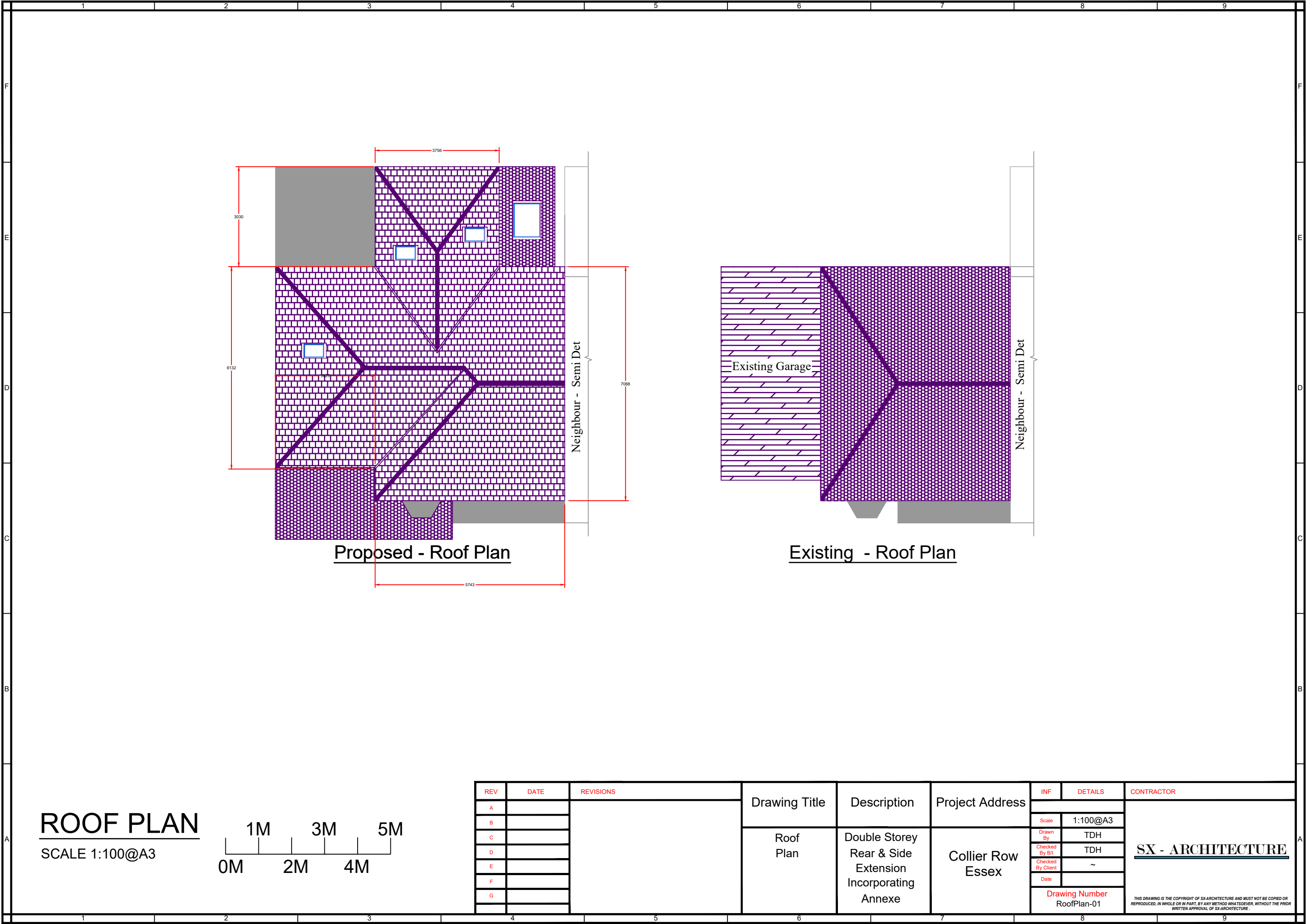
PROPOSED ELEVATIONS

SCALE 1:100@A3



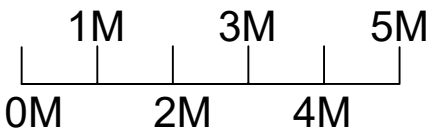
REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A								
B								
C								
D								
E								
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G								
			Proposed Elevations	Double Storey Rear & Side Extension Incorporating Annexe	Collier Row Essex	Scale	1:100@A3	
						Drawn By	TDH	
						Checked By B/I	TDH	
						Checked By Client	~	
						Date		
						Drawing Number	PropElev-01	
								THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.

SX - ARCHITECTURE



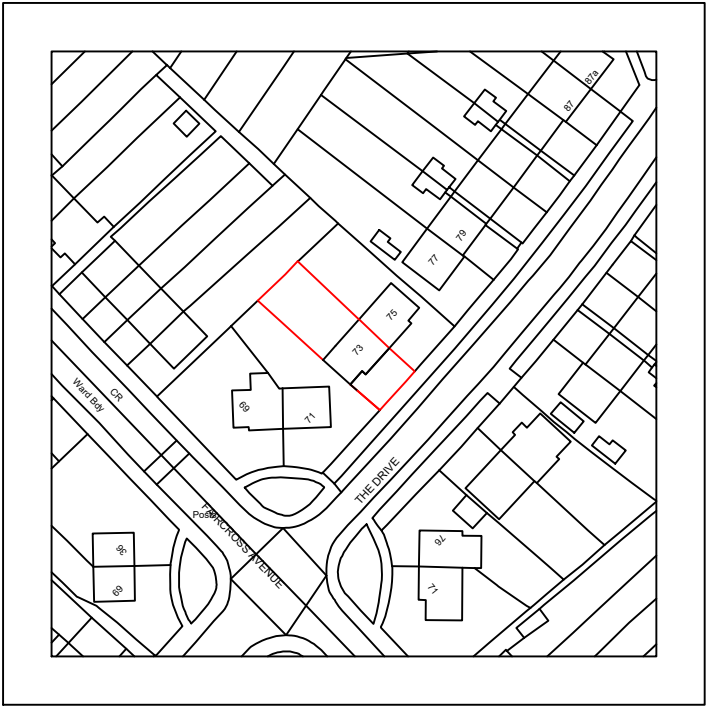
ROOF PLAN

SCALE 1:100@A3

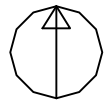


REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A								
B						Scale	1:100@A3	
C						Drawn By	TDH	
D						Checked By B/I	TDH	
E						Checked By Client	~	
F						Date		
G						Drawing Number	RoofPlan-01	
						THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.		

SX - ARCHITECTURE



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SITE PLAN

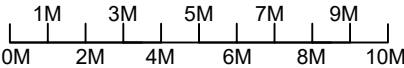
SCALE 1:1250

LEGEND

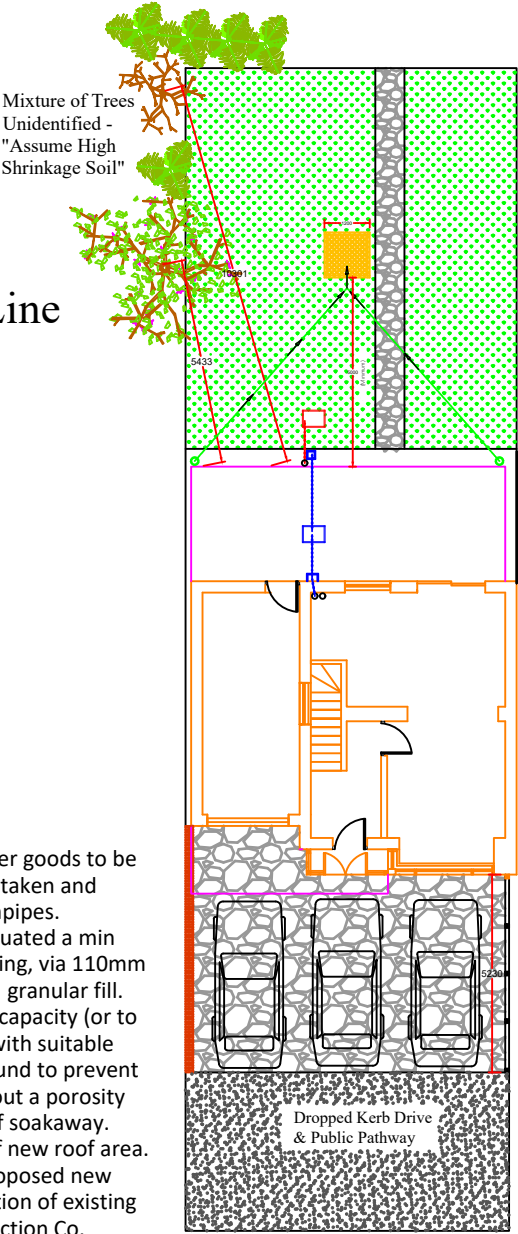
- Existing House Line
- New Proposed Extension Line
- Existing Drain
- New Drain

BLOCK PLAN 1:200

SCALE 1:200



1. RAINWATER DRAINAGE: New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway. Allow 1m3 capacity for every 25m2 of new roof area. Location position of soakaway and proposed new drain runs following further investigation of existing to be agreed with Client, BC & Constuction Co.



REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A						Scale	1:100@A3	
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number	Exist&Prop-01	
G								

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Notes :

FOUL DRAINAGE:

Due to the inspection of any manholes on the property the existing drain runs have been assumed. The builder is to expose any existing drain runs in the new connections all to the approval of the building control officer. Notification to Anglian Water to build over a public sewer may also be required unless existing drains meet certain criteria.

THESE BEING ;

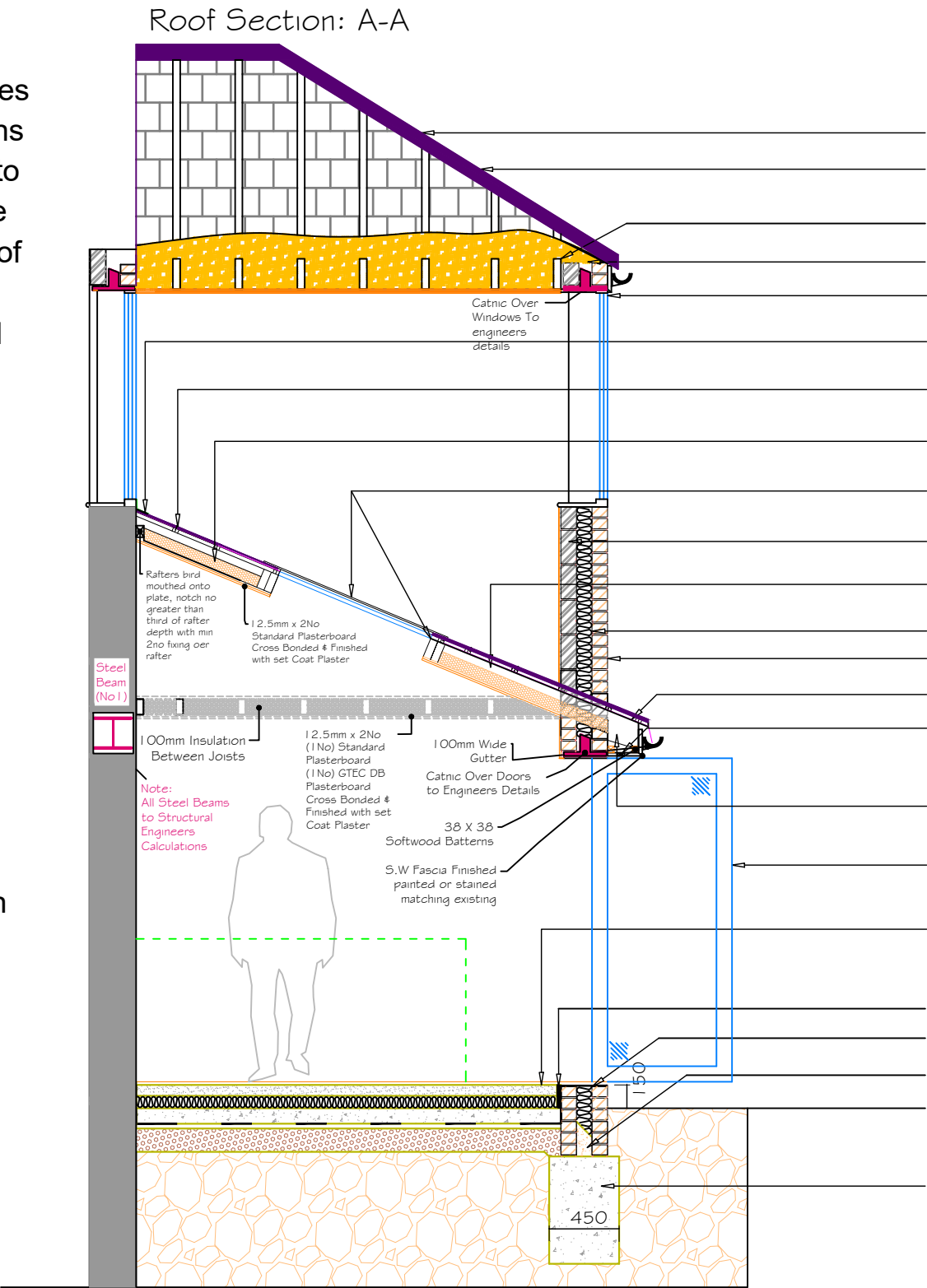
- 1. Sewer less than 3 metres deep.
- 2. Sewer 150mm diameter or less.
- 3. Length of sewer under a building must not exceed 6 metres.
- 4. No manholes or access point permitted under/in a building.
- 5. Gravity sewer and not pumped.
- 6. Suitable foundation design to ensure that no loads are imposed on the public sewer.

SURFACE WATER:

Surface water to disperse to new soakaway min 5 metres from building location to be determined on site by the builder and client.

LINTELS:

Use Catnic Standard Duty CG90/100 for standard duty lintels over openings in new external walls



Section: A-A Scale : 1:20

- Roof tiles to match existing
- Roof rafters 47 x 150 c24 @400mm C/Cs
- Ceiling Joists set up at 400mm C's 50mm x 150mm
- C24 & 47 x 150 C24 binders @ 1200 C/Cs
- Loft insulation 150mm between joists with 200mm over
- Windows to match existing style.
- 350mm Lead Flashing overlapped 150mm on to the roof with 150mm return up to the wall inserted in to brick line 20mm.
- Roof tiles Marley Ludlow Major 100mm headlap set on 38x25 roof treated batons. not exceeding 450mm Centres
- 80mm Celotex or equivalent between rafters Cavity Insulation with 50mm insulation over underside of rafters with 50mm air gap.
- Skylight Velux Windows encased all round with double joist trimmers to engineers detail.
- Thermal Insulation Blockwork.
- Timber floor joists set up at 400mm C's 47x195mm C24, T&G chipboard 18/22mm glued and screwed to joists.
- 90mm Full Fill Cavity Insulation Dnitherm or Equivalent.
- Facing Brickwork/Thermal Blockwork with render finish to match existing.
- Breathable sarking felt e.g. Tyvek Supra Plus or Equivalent.
- Cross ventilation with eaves ventilation strip with a 25mm continuous gap at eaves level with insert grill and 50mm air gap between felt and insulation.
- Treated 47 x 150 C24 Joists set at 400mm C's Birdmouthed over 100mm x 50mm wall plate fixed to blockwork at max 1.8m centres with 1000mm x 30mm x 5mm galvanised straps.
- Windows/Doors to match existing style.
- 75mm sand / cement screed reinforced with 500g VCL 75mm Insulation, joints taped over 100mm ground bearing slab laid on 1200 gauge polythene membrane, lapped at edges with DPC, sand blinding on 150mm well graded, compacted hardcore.
- Perimeter Insulation.
- DPM Above Concrte.
- Cavity Fill.
- G.L.
- Foundation design and depths to match existing, final foundation depths mon 1m below ground level to be agreed on site with local authority building inspector.

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A						Scale	1:20	
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number	SectDwg-01	
G						THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.		

Notes :

FOUL DRAINAGE:

Due to the inspection of any manholes on the property the existing drain runs have been assumed. The builder is to expose any existing drain runs in the new connections all to the approval of the building control officer. Notification to Anglian Water to build over a public sewer may also be required unless existing drains meet certain criteria.

THESE BEING ;

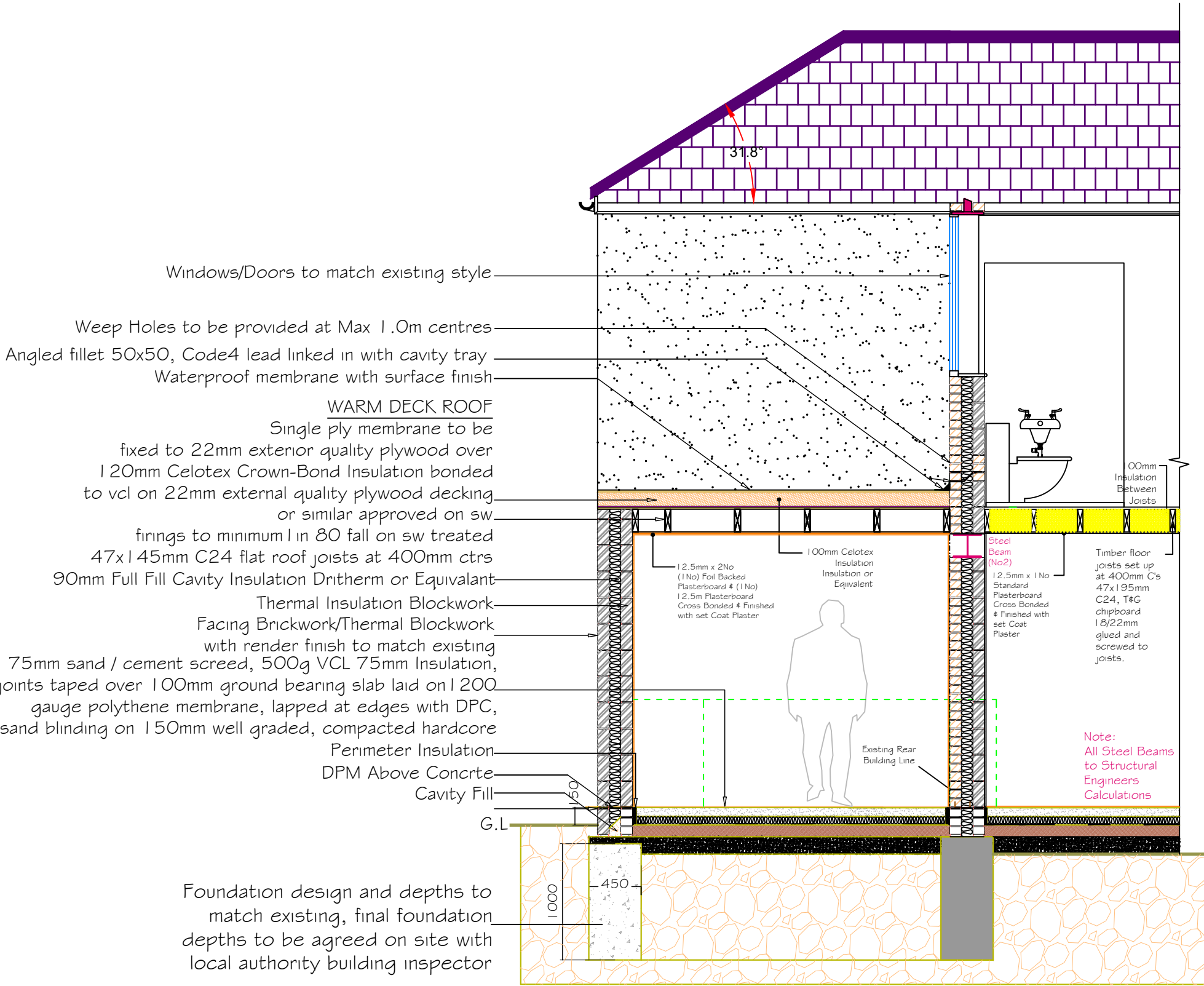
- 1. Sewer less than 3 metres deep.
- 2. Sewer 150mm diameter or less.
- 3. Length of sewer under a building must not exceed 6 metres.
- 4. No manholes or access point permitted under/in a building.
- 5. Gravity sewer and not pumped.
- 6. Suitable foundation design to ensure that no loads are imposed on the public sewer.

SURFACE WATER:

Surface water to disperse to new soakaway min 5 metres from building location to be determined on site by the builder and client.

LINTELS:

Use Catnic Standard Duty CG90/100 for standard duty lintels over openings in new external walls



Section: B-B Scale : 1:20

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A						Scale	1:20	
B						Drawn By	TDH	
C						Checked By B/I	TDH	
D						Checked By Client	~	
E						Date		
F						Drawing Number	SectDwg-01	
G						THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURE AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURE.		

Notes :

FOUL DRAINAGE:

Due to the inspection of any manholes on the property the existing drain runs have been assumed. The builder is to expose any existing drain runs in the new connections all to the approval of the building control officer.
Notification to Anglian Water to build over a public sewer may also be required unless existing drains meet certain criteria.

THESE BEING :

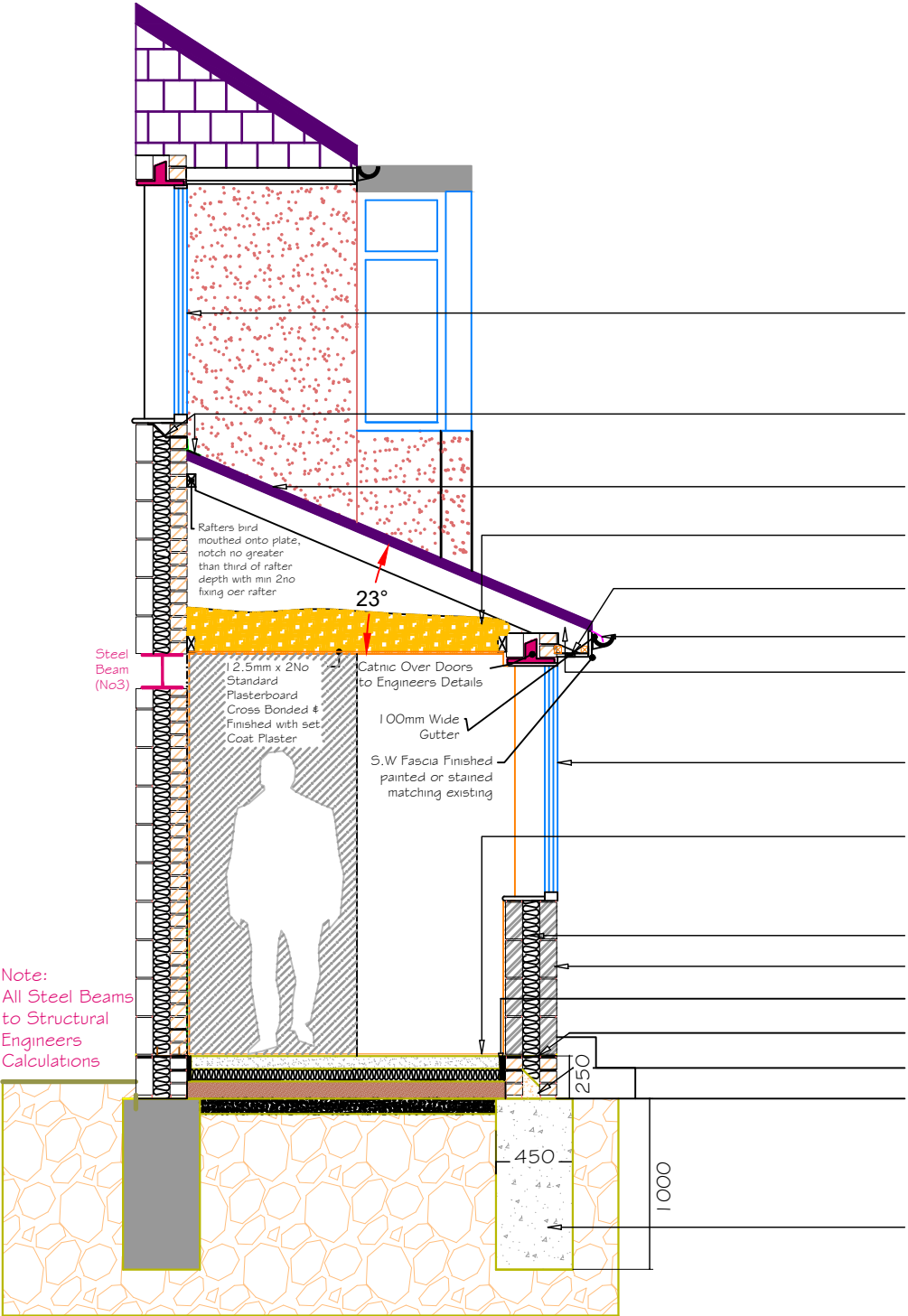
- 1. Sewer less than 3 metres deep.
- 2. Sewer 150mm diameter or less.
- 3. Length of sewer under a building must not exceed 6 metres.
- 4. No manholes or access point permitted under/in a building.
- 5. Gravity sewer and not pumped.
- 6. Suitable foundation design to ensure that no loads are imposed on the public sewer.

SURFACE WATER:

Surface water to disperse to new soakaway min 5 metres from building location to be determined on site by the builder and client.

LINTELS:

Use Catnic Standard Duty CG90/100 for standard duty lintels over openings in new external walls



Section: C-C Scale : 1:20

Windows/Doors to match existing style.

350mm Lead Flashing overlapped 150mm on to the roof with 150mm return up to the wall inserted in to brick line 20mm with inserted cavity tray.
Roof tiles Marley Ludlow Major 100mm headlap set on 38x25 roof treated batons not exceeding 450mm Centres.
Loft insulation 150mm between joists with 200mm over
Cross ventilation with eaves ventilation strip with a 25mm continuous gap at eaves level with insert grill and 50mm air gap between felt and insulation.
Breathable sarking felt e.g. Tyvek Supra Plus or Equivalent.
Treated 47 x 150 C24 Joists set at 400mm C's Birdmouthed over 100mm x 50mm wall plate fixed to blockwork at max 1.8m centres with 1000mm x 30mm x 5mm galvanised straps.
Windows/Doors to match existing style.

75mm sand / cement screed reinforced with D49 steel mesh fabric laid over 500g VCL 75mm Insulation, joints taped over 100mm ground bearing slab laid on 1200 gauge polythene membrane, lapped at edges with DPC, sand blinding on 150mm well graded, compacted hardcore.
90mm Full Fill Cavity Insulation Dritherm or Equivalent.
Facing Brickwork/Thermal Blockwork with render finish to match existing.
Perimeter Insulation.
DPM Above Concrte.
Cavity Fill.
G.L

Foundation design and depths to match existing, final foundation depths to be agreed on site with local authority building inspector.

REV	DATE	REVISIONS	Drawing Title	Description	Project Address	INF	DETAILS	CONTRACTOR
A						Section Drawings C-C	Double Storey Rear & Side Extension Incorporating Annexe	Collier Row Essex
B			Scale	1:20				
C			Drawn By	TDH				
D			Checked By B/I	TDH				
E			Checked By Client	~				
F			Date					
G			Drawing Number SectDwg-03					