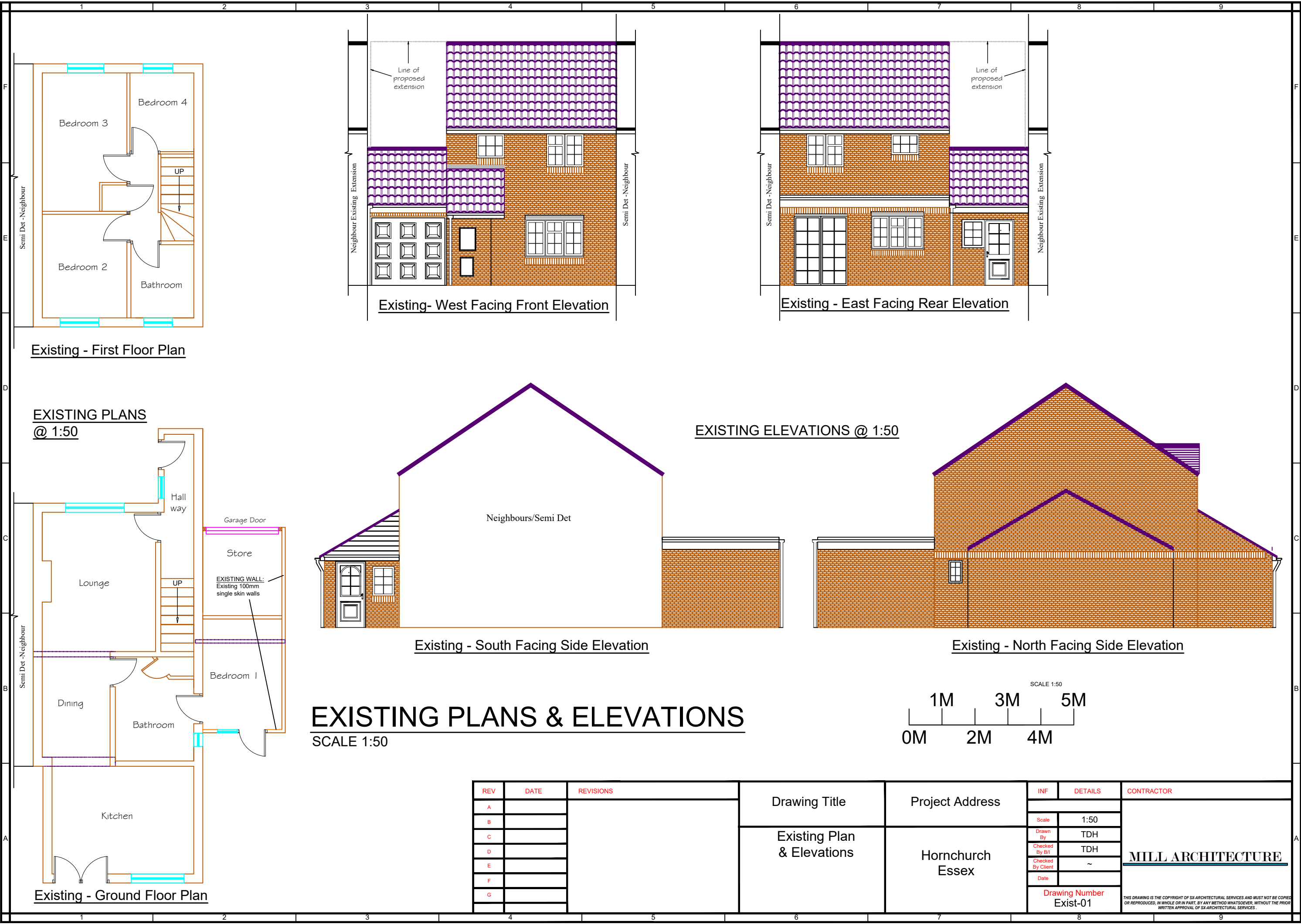
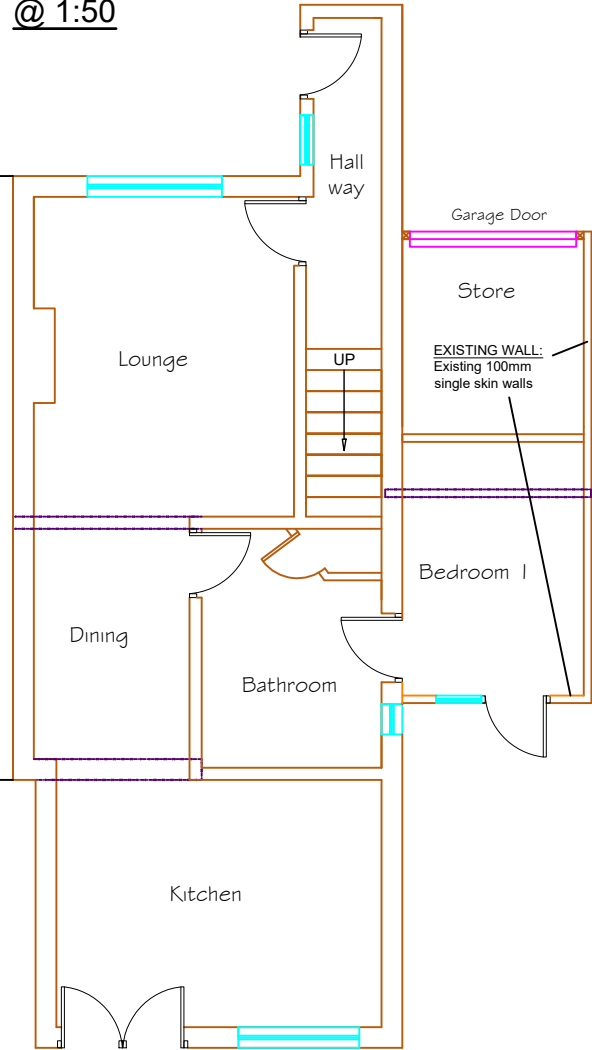




Existing - First Floor Plan

EXISTING PLANS
@ 1:50



Existing - Ground Floor Plan

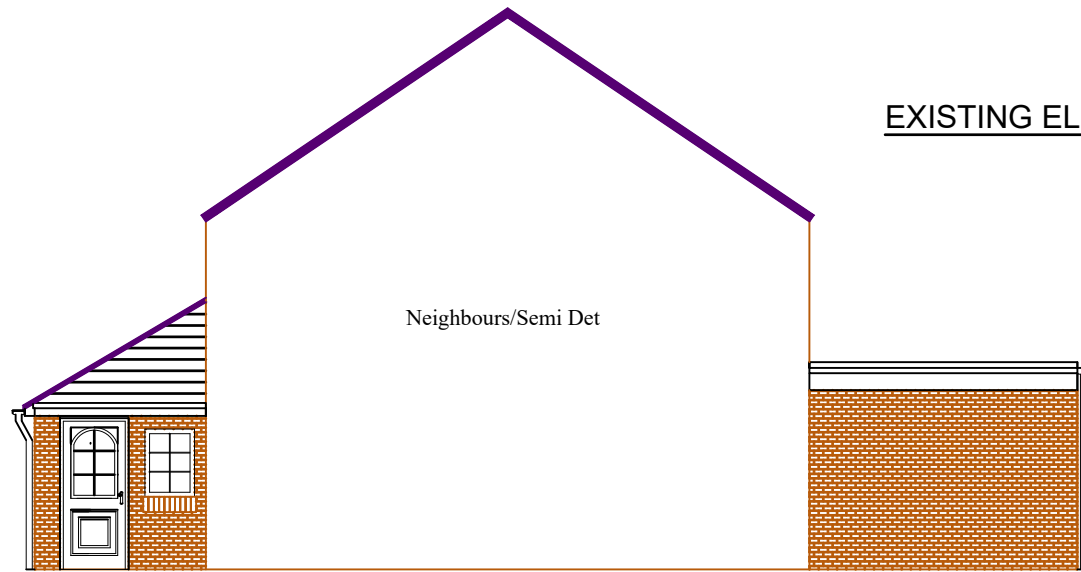
Existing- West Facing Front Elevation



Existing - East Facing Rear Elevation



EXISTING ELEVATIONS @ 1:50



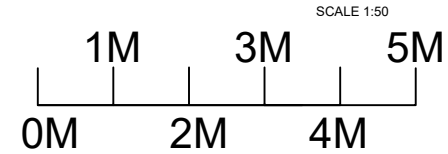
Existing - South Facing Side Elevation



Existing - North Facing Side Elevation

EXISTING PLANS & ELEVATIONS

SCALE 1:50

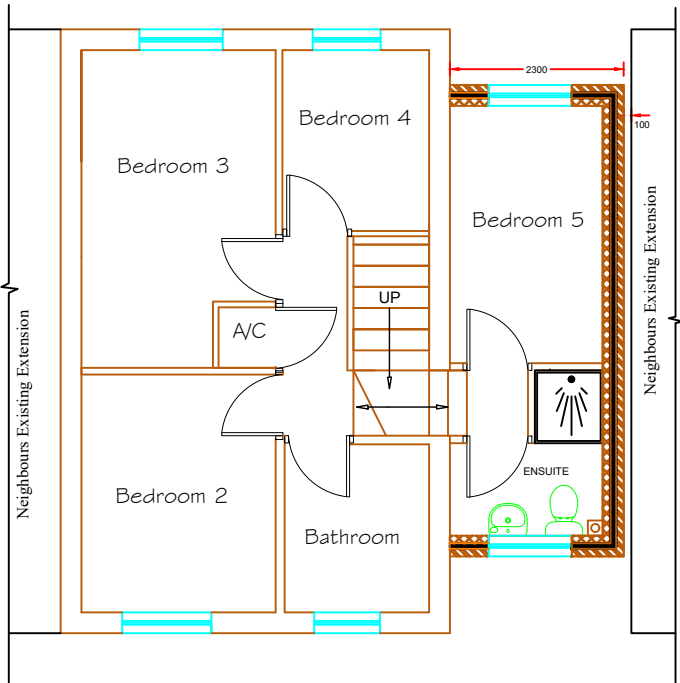
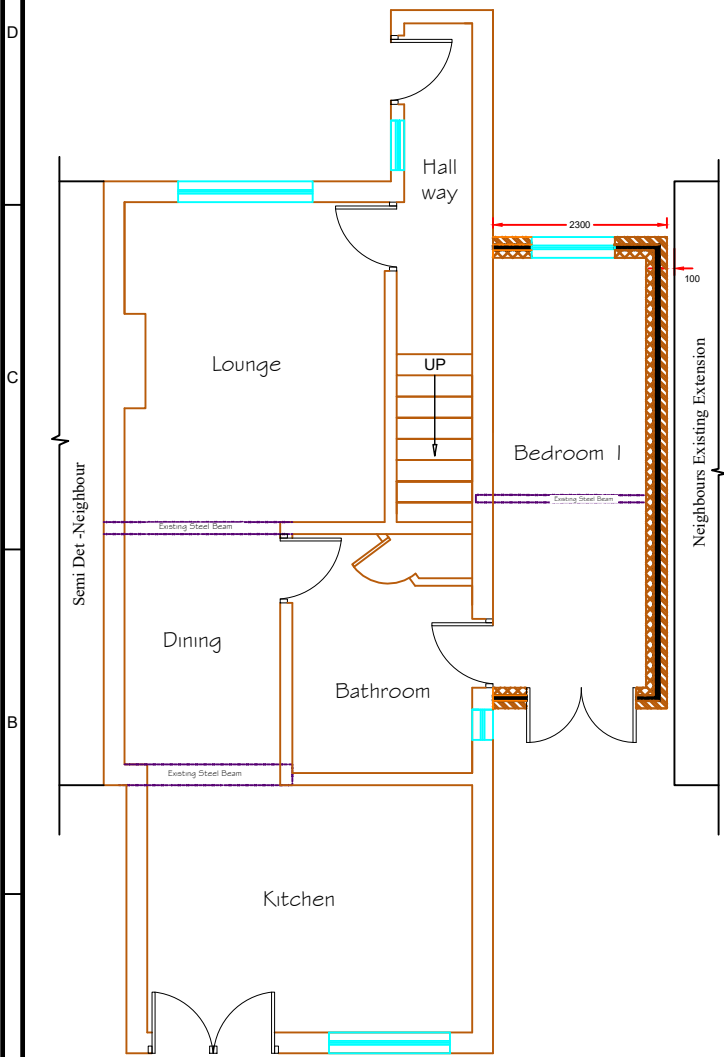


REV	DATE	REVISIONS	Drawing Title	Project Address	INF	DETAILS	CONTRACTOR
A			Existing Plan & Elevations	Hornchurch Essex	Scale	1:50	MILL ARCHITECTURE
B					Drawn By	TDH	
C					Checked By B/I	TDH	
D					Checked By Client	~	
E					Date		
F					Drawing Number	Exist-01	
G							

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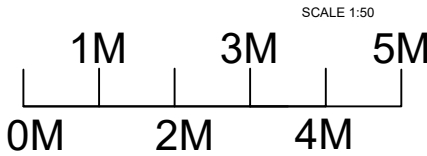
PROPOSED ELEVATIONS @ 1:50



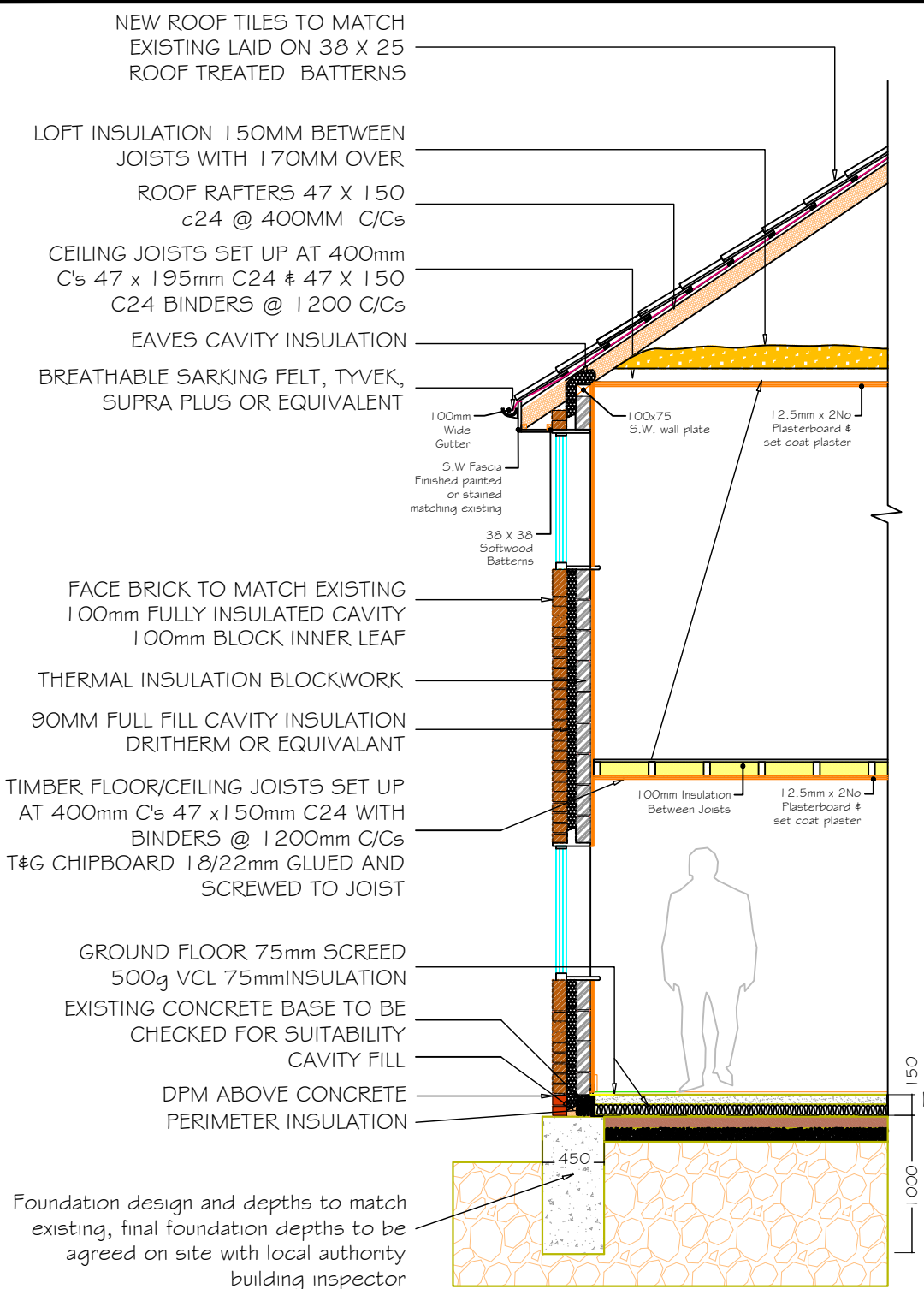
Proposed- First Floor Plan

PROPOSED PLANS & ELEVATIONS

SCALE 1:50



REV	DATE	REVISIONS	Drawing Title	Project Address	INF	DETAILS	CONTRACTOR
A			Proposed Plan & Elevations	Hornchurch	Scale	1:50	MILL ARCHITECTURE
B					Drawn By	TDH	
C					Checked By B/I	TDH	
D					Checked By Client	~	
E					Date		
F					Drawing Number	Prop-01	THIS DRAWING IS THE COPYRIGHT OF SX-ARCHITECTURAL SERVICES AND MUST NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF SX-ARCHITECTURAL SERVICES.
G							



Proposed - West Facing Front Elevation Section A-A - NTS

FOUL DRAINAGE:
DUE TO THE NON INSPECTION OF ANY MANHOLES ON THE PROPERTY THE EXISTING DRAIN RUNS HAVE BEEN ASSUMED. THE BUILDER IS TO EXPOSE ANY EXISTING DRAIN RUNS IN THE VICINITY AND MAKE ANY NEW CONNECTIONS ALL TO APPROVAL OF BUILDING CONTROL OFFICER. NOTIFICATION TO ANGLIAN WATER TO BUILD OVER A PUBLIC SEWER MAY ALSO BE REQUIRED UNLESS EXISTING DRAINS MEET CERTAIN CRITERIA,

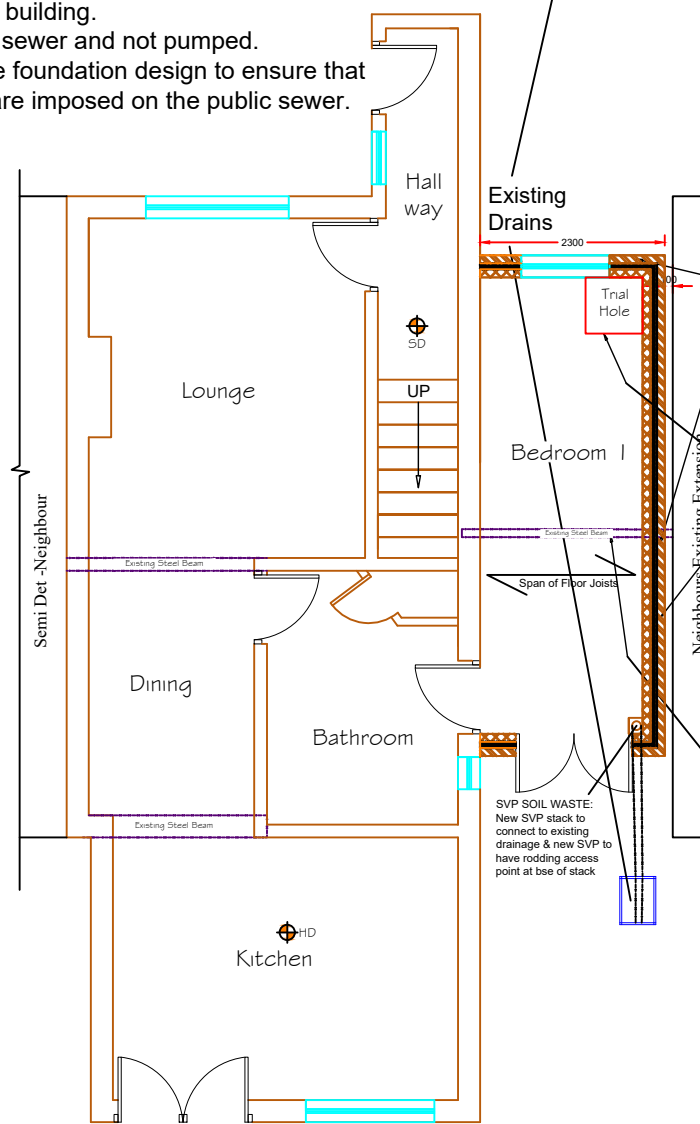
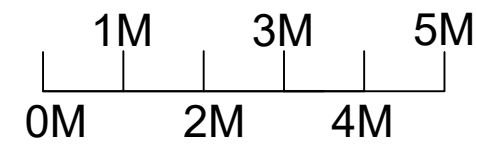
- THESE BEING ;
1. Sewer less than 3 metres deep.
 2. Sewer 150mm diameter or less.
 3. Length of sewer under a building must not exceed 6 metres.
 4. No manholes or access point permitted under/in a building.
 5. Gravity sewer and not pumped.
 6. Suitable foundation design to ensure that no loads are imposed on the public sewer.

LINTELS:
Use Catnic Standard Duty CG90/100 for standard duty lintels over openings in new external walls

SURFACE WATER:
Surface water drainage to connect to existing system

PROPOSED PLANS & SECTION

SCALE 1:100@A3

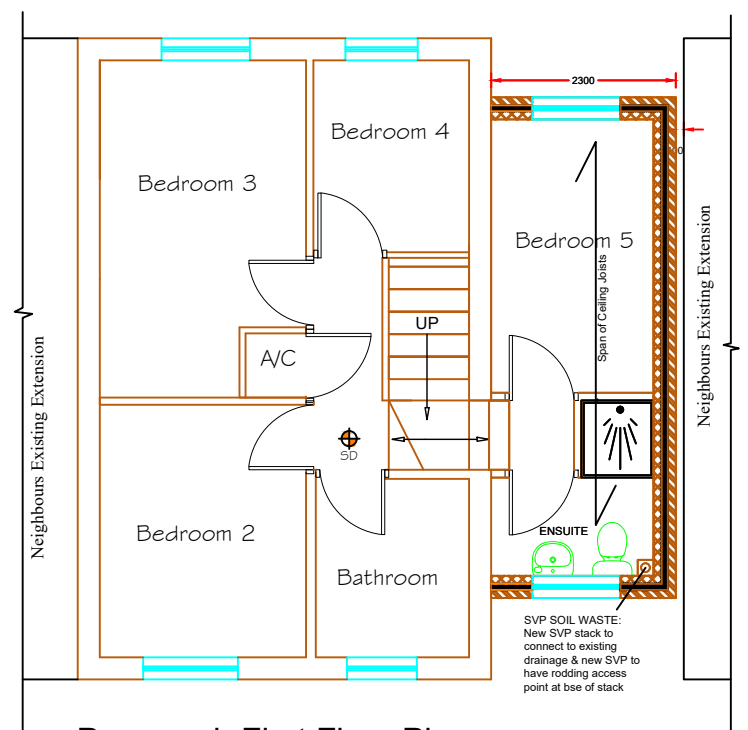


Proposed - Ground Floor Plan

EXISTING GARAGE WALLS:
EXISTING SINGLE GARAGE WALLS ARE TO HAVE AN ADDITIONAL THERMAL BRICK WALL ALONGSIDE WITH CAVITY AS SECTION SHOWN A-A & WILL NEED REMEDIAL WALL TIES TO BE FIXED AT GRD TO FIRST LEVELS. THE BUILDER IS TO CHECK ALL WALLS AND AGREE WITH THE BUILDING INSPECTOR BEFORE BUILD WORKS COMMENCE.

FOUNDATIONS:
NEW CONCRETE FOOTING TO BE CONSTRUCTED ALONG EXISTING GARAGE DOOR LINE, IT IS ASSUMED THERE IS AN EXISTING CONCRETE FOOTING SUPPORTING THE SINGLE GARAGE WALLS. THE BUILDER IS TO EXPOSE THE FOOTING WITH A TRIAL HOLE BEFORE BUILDING WORKS COMMENCE IN AGREEMENT WITH THE BUILDING INSPECTOR.

EXISTING STEEL BEAM:
BUILDER TO CHECK FOLLOWING EXPOSURE IF THE EXISTING STEEL BEAM IS SERVING A PURPOSE, THE BEAM IS TO BE REMOVED AND CLEARED TO ALLOW FOR NEW CONSTRUCTION IF ITS PROVEN REDUNANT FOR USE.



Proposed- First Floor Plan

REV	DATE	REVISIONS	Drawing Title	Project Address	INF	DETAILS	CONTRACTOR
A					Scale	1:100@A3	
B					Drawn By	TDH	
C					Checked By Bll	TH	
D					Checked By Client	~	
E					Date		
F					Drawing Number		
G					Sec-01		

MILL ARCHITECTURE

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